



5. LANDSCAPE STANDARDS

PROJECT GENERAL STANDARDS

General project standards shall conform to the Town of Eagle Development Standards, Chapter 4.07 except as described therein.

GENERAL LANDSCAPE STANDARDS

The following section defines the landscape standards for the development, including general standards, parking lot landscaping, parks, open space and gathering spaces, and buffer standards.

Overall Site Open Space and Landscape Design Concept

The overall site landscape concept utilizes native Colorado mountain valley landscape material to integrate the site with the surrounding majestic landscape, providing a transition to the more formal landscape plantings that occur adjacent to the site buildings and pad development. The landscape design shall be integrated with the hardscape, streetscape, amenity, and monumentation design for the development. (See figures 5.1.3 and 5.1.5) Additional landscape interest and color will be provided by colorful perennial plantings at key locations. Buffers, screening, and open drainage ways will be planted with native species. Street trees will provide rhythm and interest along internal drives and roads, while hardy shade trees provide shade in parking lots. Native stone, mulches, low maintenance turf, and ground cover provide additional ground treatments.

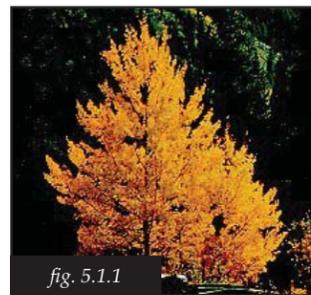


fig. 5.1.1

Open Space

Common Open Space is recommended to be a minimum of 20% of the gross area of the PUD (85.82 acres). This equals 17.16 acres. Refer to the Eagle River Station Common Open Space Plan for the location of common open space provided in the PUD.

Open Space Standards

- a. Areas allowed to be counted as common open space shall be defined per Town of Eagle Municipal Code.
- b. Open space areas shall utilize native landscape design, except in open active recreation areas, which may utilize turf grass.
- c. All landscape standards, below, shall apply to the open space areas.
- d. Buffer areas utilized as open space, shall be per the standard set forth below.
- e. Open space areas may include walks, trails, plazas, gathering places, and other pedestrian oriented paving areas. (See figure 5.1.3)
- f. Open space areas with pedestrian access, paths and gathering spaces shall follow the Americans with Disabilities Act Accessibility Guidelines (ADAAG).
- g. Trails, walks, and pedestrian paved area standards are addressed in Section 8 of the PUD.
- h. Perimeter buffers and the Castle Creek drainage shall be designed to predominantly reflect the natural landscape of the Eagle River area.



fig. 5.1.3

Municipal and Park Land Dedication

A Municipal and Park Land Dedication of 8.25 Acres shall be dedicated to the public. Refer to page 32 for the location, description, methodology and numbers of acres to be provided in the future phase of the project.

Municipal and Park Standards

- a. The dedicated park lands shall have diverse facilities for the use of the residents of the development and the public. Park facilities shall fulfill multiple needs and activities, such as, but not limited to, playgrounds, walking and bike paths, playing fields, grass lawns and community gathering spaces.
- b. Key design elements for parks will include, where appropriate and based upon uses and the location of uses; trees (provides connection with nature and shade); water (attractions for parks, pools, fountains, waterfalls, ponds); seating (benches, ledges, moveable); shade (provide both sun and shade); commerce (allow a certain amount of lifestyle center activity spill into the parks); and kiosks.
- c. Parks, plazas, gardens, and playgrounds shall be designed to be accessible in accordance with ADAAG requirements, and address access, grade change, curbs and edges, safety, themes and cognitive aids, plantings and comforts.
- d. The 2 Acre temporary park area shall be graded to a generally flat condition (2% or less) and shall also include an open air shade structure and landscaped seating areas.

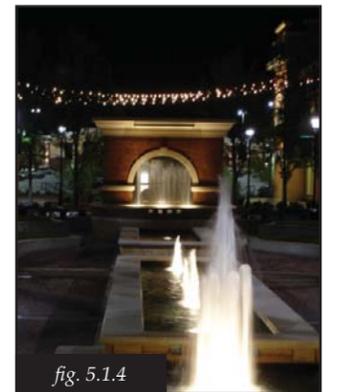


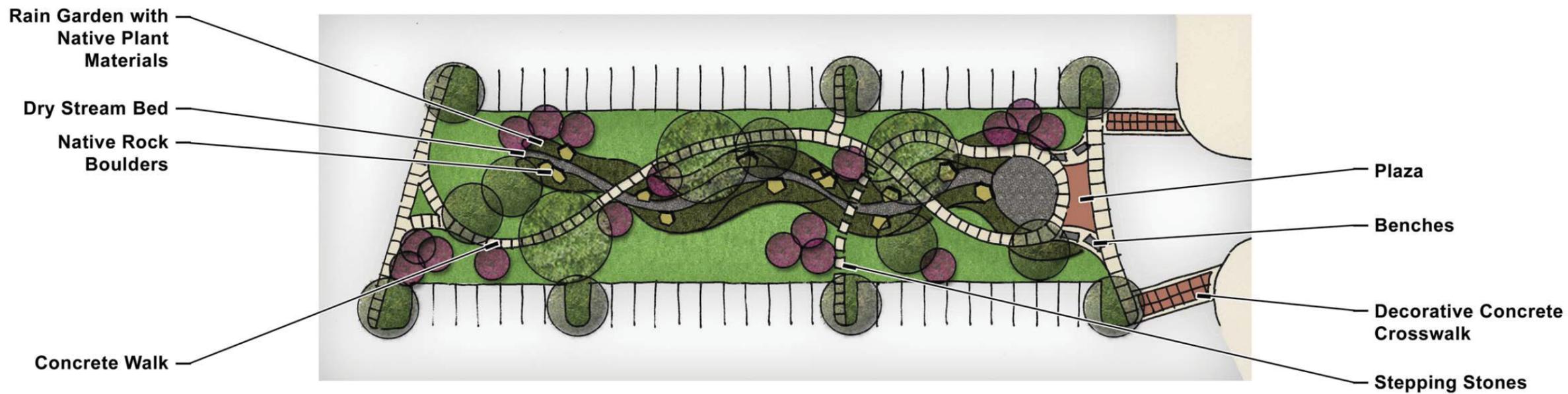
fig. 5.1.4



fig. 5.1.5



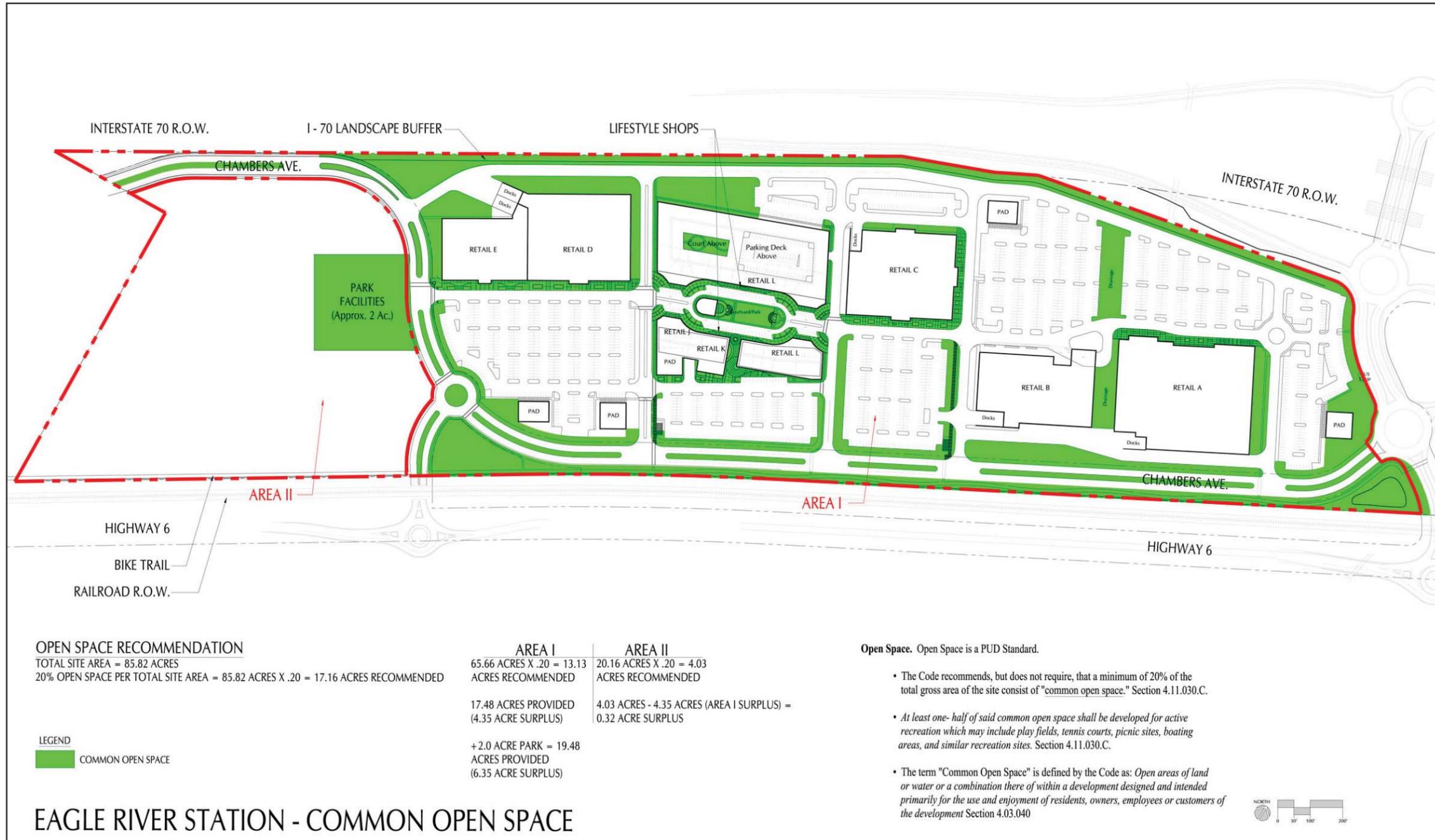
5. LANDSCAPE STANDARDS CONTINUED



EAGLE RIVER STATION - CASTLE CREEK DRAINAGE CONCEPT

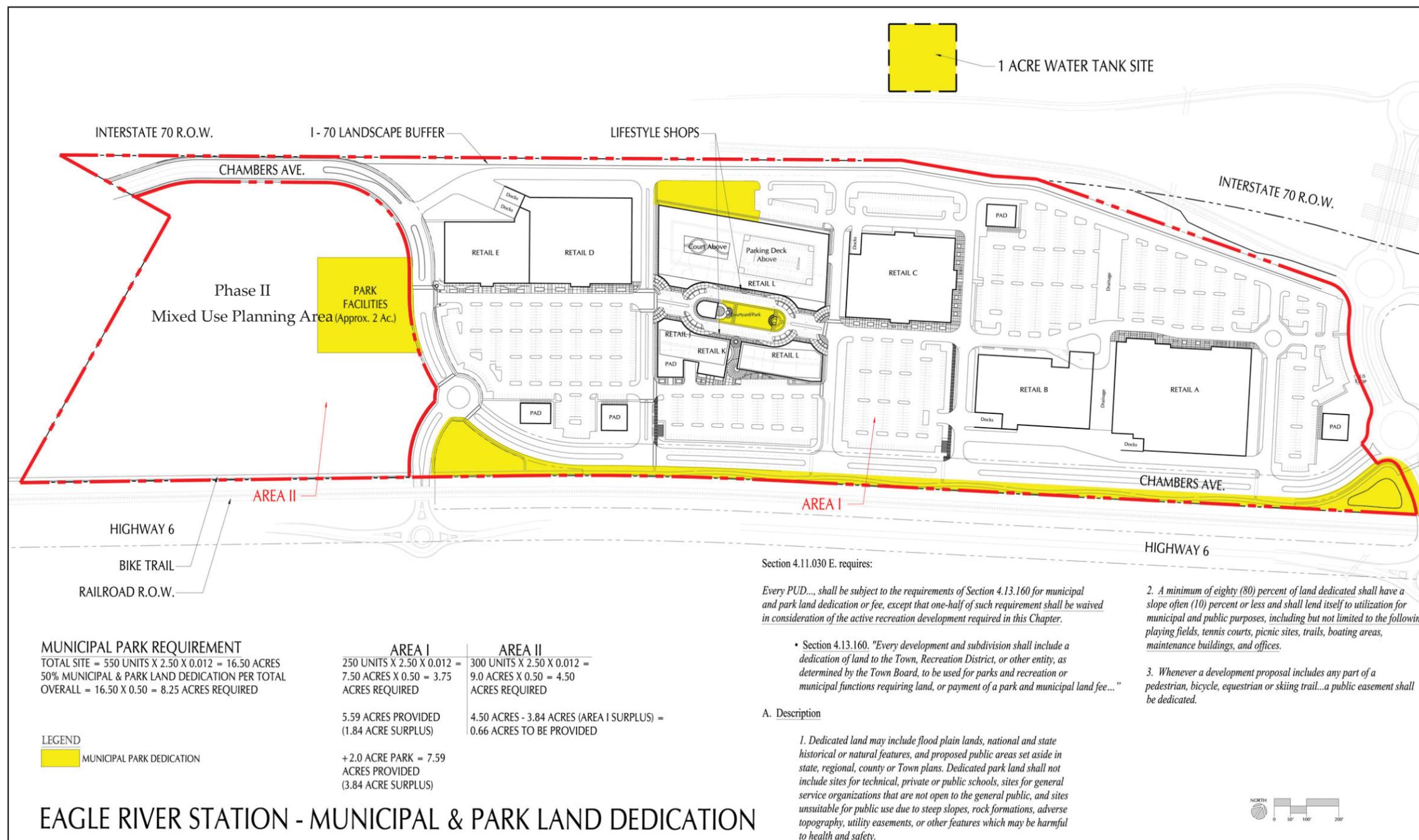


5. LANDSCAPE STANDARDS CONTINUED





5. LANDSCAPE STANDARDS CONTINUED



MUNICIPAL PARK REQUIREMENT
 TOTAL SITE = 550 UNITS X 2.50 X 0.012 = 16.50 ACRES
 50% MUNICIPAL & PARK LAND DEDICATION PER TOTAL
 OVERALL = 16.50 X 0.50 = 8.25 ACRES REQUIRED

LEGEND
 MUNICIPAL PARK DEDICATION

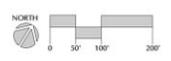
	AREA I	AREA II
250 UNITS X 2.50 X 0.012 =	300 UNITS X 2.50 X 0.012 =	
7.50 ACRES X 0.50 = 3.75	9.0 ACRES X 0.50 = 4.50	
ACRES REQUIRED	ACRES REQUIRED	
5.59 ACRES PROVIDED (1.84 ACRE SURPLUS)	4.50 ACRES - 3.84 ACRES (AREA I SURPLUS) = 0.66 ACRES TO BE PROVIDED	
+2.0 ACRE PARK = 7.59 ACRES PROVIDED (3.84 ACRE SURPLUS)		

EAGLE RIVER STATION - MUNICIPAL & PARK LAND DEDICATION

Section 4.11.030 E. requires:
 Every PUD... shall be subject to the requirements of Section 4.13.160 for municipal and park land dedication or fee, except that one-half of such requirement shall be waived in consideration of the active recreation development required in this Chapter.

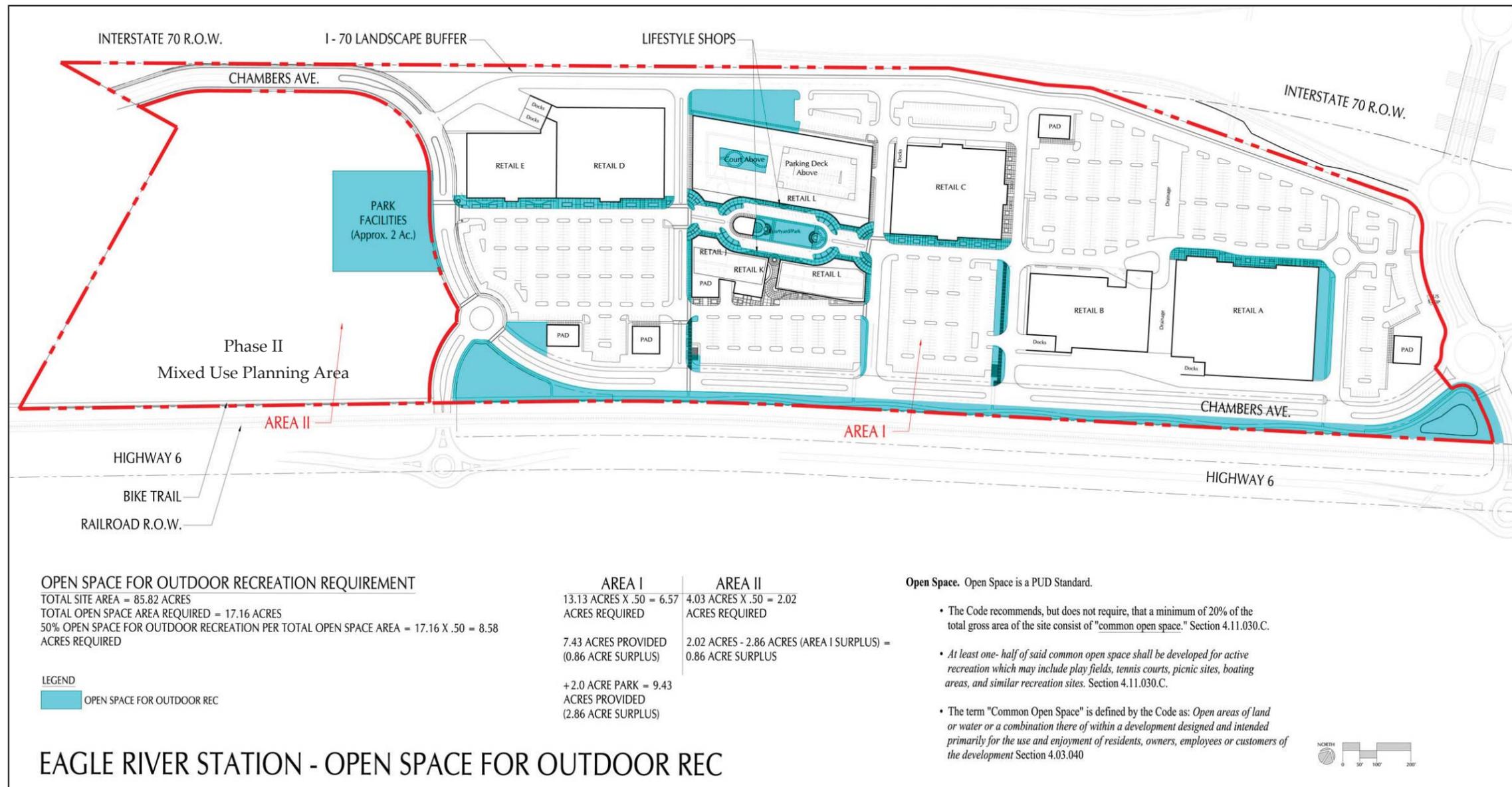
- Section 4.13.160. "Every development and subdivision shall include a dedication of land to the Town, Recreation District, or other entity, as determined by the Town Board, to be used for parks and recreation or municipal functions requiring land, or payment of a park and municipal land fee..."
- A minimum of eighty (80) percent of land dedicated shall have a slope often (10) percent or less and shall lend itself to utilization for municipal and public purposes, including but not limited to the following: playing fields, tennis courts, picnic sites, trails, boating areas, maintenance buildings, and offices.
 - Whenever a development proposal includes any part of a pedestrian, bicycle, equestrian or skiing trail...a public easement shall be dedicated.

A. Description
 1. Dedicated land may include flood plain lands, national and state historical or natural features, and proposed public areas set aside in state, regional, county or Town plans. Dedicated park land shall not include sites for technical, private or public schools, sites for general service organizations that are not open to the general public, and sites unsuitable for public use due to steep slopes, rock formations, adverse topography, utility easements, or other features which may be harmful to health and safety.





5. LANDSCAPE STANDARDS CONTINUED



It is anticipated that the 2 acre park/open turf area located within the Phase II area will be relocated in conjunction with the development of Phase II. Open space and active recreation areas for Phase II will be determined during the review of Phase II. That said the Active Recreation components of Phase II will include an equivalent amount (2 acres) of park/open turf area provided however, that the location and configuration of the park/open turf area may vary from what is depicted herein.



5. LANDSCAPE STANDARDS CONTINUED

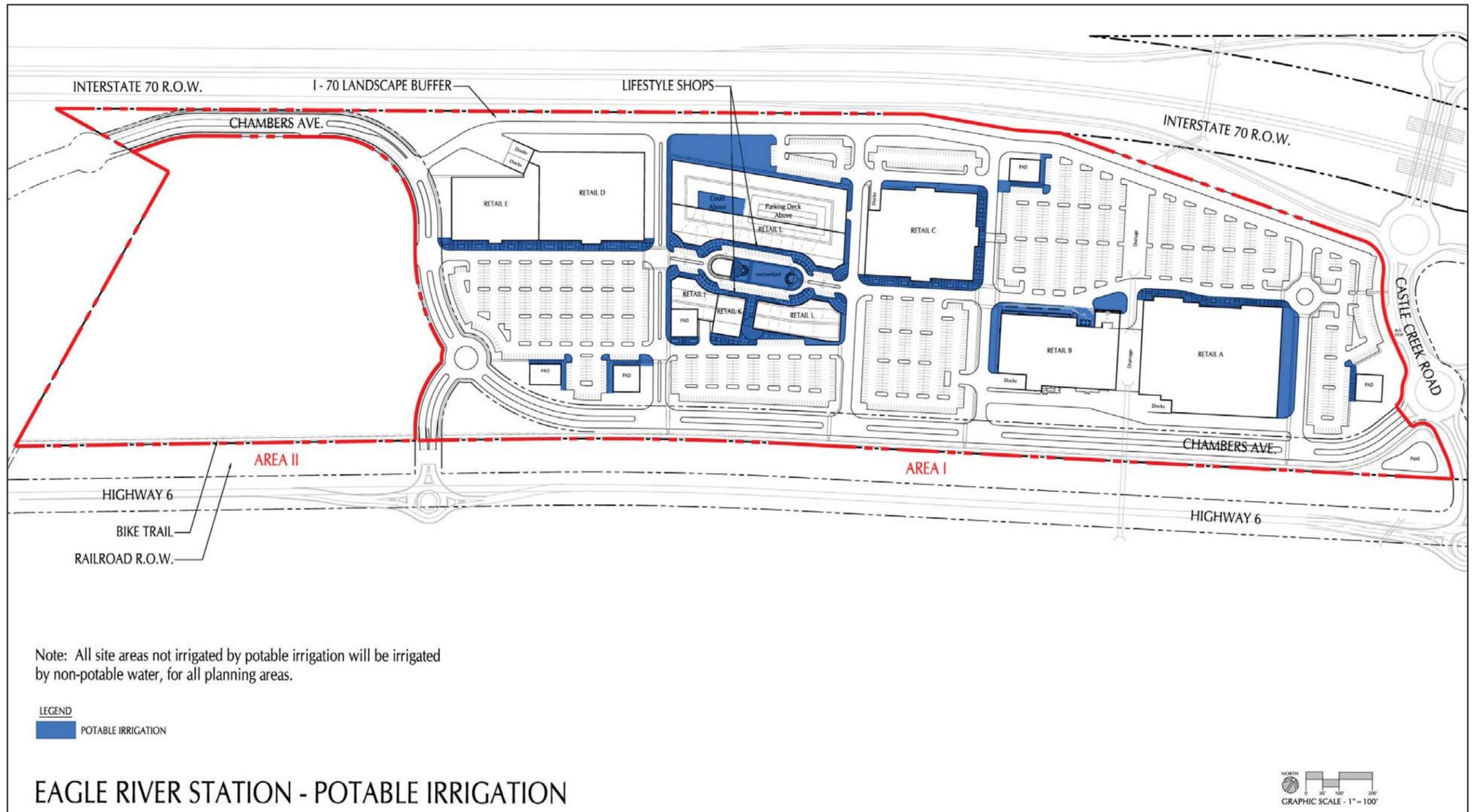
General Site Landscape Requirements

Landscaping for items specifically not addressed in this Planned Development Guide and Control Document shall comply with Section 4.07.010 of the Town of Eagle, Colorado Land Use and Development Code.

- a. A minimum of 20 percent of the project site area shall be a landscaped area. This area shall include all site areas, including, landscape beds, turf areas, native planting areas, buffers, parking lot island plantings, pedestrian paving areas including sidewalks, plazas, and storefronts, amenity areas, landscaped drainage areas, non-organic mulch areas, and landscaped and pedestrian walk areas in the right of way areas along Chambers Avenue. Water features may be counted in the landscaped area as amenities. All areas of landscaping, water features, decks, boardwalks, and decorative paving in the main shopping plaza area may be counted as landscaped open space. Common area decks and roof top decks that are landscaped for use by people may be counted toward the landscape coverage requirements. Refer to pgs 4-7 for the landscape/hardscape concept plans for the development.
- b. All irrigation shall be automatic drip/spray, with a dual program controller, wind shut-off and rain sensor shut-off. All plants shall be grouped into similar water zones. All landscape areas shall be irrigated. Both potable and non-potable irrigation shall be used (*refer to following page*).
- c. The overall tree count shall be a minimum of 1 tree per 750 s.f. of minimum required landscaped area. The overall shrub counts in all areas shall be a minimum of 6 shrubs per each tree required.
- d. Internal project drives shall be required to have deciduous shade trees spread an average of 1 tree per 60 lineal feet of frontage per side. Trees shall be a minimum 2 1/2" caliper. Tree locations may be modified to take into account site distance and easements per code at intersections, store front, signage, and lighting obstructions and proximity to building facades. This requirement shall be credited as a part of the minimum required overall tree count. Trees shall not be planted in locations that block intersections, fire hydrants, signs or other infrastructure.
- e. Turf area will be allowed in the project. Grading shall accommodate adequate drainage of turf areas. Turf areas shall be irrigated as indicated above. Turf areas shall be credited toward the minimum landscaped area required.
- f. Trees and shrubs shall be placed in front of the screen walls to soften the service area's appearance. Additional screening requirements may be found in Section 4, Architectural Guidelines, of this document.
- g. Landscape Plans are required to be submitted for all development permit applications.
- h. Informal groupings of 3 or more trees and 7 or more shrubs are encouraged in buffer areas.
- i. Recommended Plant Material List - Plant material types for the project shall be selected from Table 1 - Recommended Plant Materials. Additional plant material types, not included in this table may be used, if approved by the Town.
- j. Quality soil shall be provided in all planting areas.



5. LANDSCAPE STANDARDS CONTINUED





5. LANDSCAPE STANDARDS CONTINUED

Plant material that is native to Colorado or has low water requirements shall be preferred for this project. Additionally, plant material that has low maintenance and low water use requirements will also be preferred. Minimum Plant sizes are indicated for each category.



Table 1

Botanical Name	Common Name	Notes
Deciduous Shade Trees (Min. 2-1/2" cal.)		
Acer negundo	Boxelder	N
Fraxinus pennsylvanica lanceolata	Green Ash	L (See figure 5.5.1)
Populus acuminata	Lanceleaf Cottonwood	N
Populus angustifolia	Narrowleaf Cottonwood	N
Populus balsamifera	Balsam Poplar	N (See figure 5.5.2)
Sorbus scopulina	Mountain Ash	N
Ornamental Trees (Min. 2" cal.)		
Alnus glabrum	Rocky Mountain Maple	N
Alnus tenuifolia	Native Thin-leaf Alder	N
Amelanchier canadensis	Shadblow Serviceberry	N L
Betula occidentalis	Rocky Mountain Birch	N (See figure 5.5.3)
Crataegus succluenta	Western Hawthorn	N L
Crataegus erthyropoda	Red Hawthorn	N
Malus "Dolgo"	Dolgo Crabapple	
Malus "Radiant"	Radiant Crabapple	
Malus "Spring Snow"	Spring Snow Crabapple	
Populus tremuloides	Quaking Aspen	N
Prunus pensylvanica	Pin Cherry	N L
Prunus virginiana	Choke Cherry	N L
Quercus gambellii	Gambel's Oak	N L

Botanical Name	Common Name	Notes
Evergreen: Pine, Spruce, Fir (Min. 6-7' tall)		
Picea pungens	Colorado Blue Spruce	N
Picea engelmannii	Engelmann Spruce	N
Pinus aristata	Bristlecone Pine	N L (See figure 5.5.4)
Pinus edulis	Pinyon Pine	N L
Pinus flexilis	Limber Pine	N L
Pinus ponderosa	Ponderosa Pine	N
Pseudotsuga menziesii glauca	Douglas Fir	N
Upright Junipers (Min 4-5' tall)		
Juniperus communis	Common Juniper	N L
Juniperus scopulorum	Rocky Mountain Juniper	N L
Juniperus monosperma	One-seed Juniper	N L
Spreading Junipers (Min. 3 gal.)		
Juniperus horizontalis 'Blue Rug'	Blue Rug	L
Juniperus horizontalis 'Prince of Wales'	Prince of Wales	L
Juniperus sabina "Arcadia"	Arcadia	L
Juniperus sabina 'Broadmoor'	Broadmoor	L (See figure 5.5.5)
Juniperus sabina "Buffalo"	Buffalo	L
Juniperus sabina "Scandia"	Scandia	L
Juniperus sabina tamariscifolia	Tam Juniper	L
Juniperus scopulorum 'Table Top'	Table Top Blue	L
Broadleaf Evergreens (Min. 3 gal.)		
Arctostaphylos uva-ursii	Kinnikinnick	N L
Cercocarpus montanus	Curly-leaf Mtn. Mahogany	N L
Mahonia repens	Oregon Grape Holly	N L
Yucca glauca	Yuca	N L



5. LANDSCAPE STANDARDS CONTINUED

Botanical Name	Common Name	Notes
Shrubs (Min 3 gal.)		
<i>Acer ginnala</i>	Amur Maple	L
<i>Acer glabrum</i>	Rocky Mountain Maple	N L
<i>Amelanchier alnifolia</i>	Serviceberry	N L
<i>Artemisia filifolia</i>	Thread-leaved Sage	N L
<i>Atriplex canescens</i>	Saltbush	N L
<i>Chrysothamnus nauseosus</i>	Rabbitbrush	N L
<i>Cornus stolonifera</i>	Red Twig Dogwood	N L (<i>See figure 5.6.1</i>)
<i>Cornus sericea</i>	Dogwood	N L
<i>Cotoneaster acutifolia</i>	Peking Cotoneaster	L
<i>Euonymus alata</i>	Burning Bush	(<i>See figure 5.6.2</i>)
<i>Holodiscus dumosus</i>	Mountain Spray	N L
<i>Potentilla sp.</i>	Cinquefoil	N
<i>Prunus besseyi</i>	Western Sand Cherry	N L
<i>Prunus cistena</i>	Purple Leaf Sand Cherry	L
<i>Prunus virginiana</i>	Native Chokecherry	N L
<i>Physocarpus opulifolius</i>	Common Ninebark	N L
<i>Quercus gambelii</i>	Gambel's Oak	N L
<i>Rhamnus smithii</i>	Buckthorn	N L
<i>Rhus glabra</i>	Rocky Mountain Sumac	N L
<i>Rhus trilobata</i>	Threeleaf Sumac	N L (<i>See figure 5.6.3</i>)
<i>Ribes americanum</i>	Black Currant	N
<i>Ribes aurem</i>	Golden Currant	N
<i>Ribes cereum</i>	Wax Currant	N

Botanical Name	Common Name	Notes
Shrubs (Min 3 gal.) continued		
<i>Ribes leptanthum</i>	Western Gooseberry	N
<i>Ribes inerme</i>	Common Gooseberry	N
<i>Rosa woodsii</i>	Wild Rose	N L
<i>Rosa glauca</i>	Redleaf Rose	
<i>Rubus deliciosus</i>	Thimbleberry	N
<i>Rubus ideaus</i>	Wild Red Raspberry	N
<i>Salix caudata</i>	Native Willow	N
<i>Salix caprea</i>	Pussy Willow	
<i>Salix irrorata</i>	Blue Stem Willow	N
<i>Shepardia argentea</i>	Silver Buffaloberry	N
<i>Symphoricarpos albus</i>	Common Snowberry	N
<i>Symphoricarpos oreophilus</i>	Mountain Snowberry	N
<i>Syringa vulgaris</i>	Lilac	L

N - Means species native to Colorado
 L - Means low water use plants (after established)

Grasses, Perennials, and Annuals may be used. Only perennials and annuals that will tolerate the short mountain growing season will be allowed. All grasses, and perennials shall be a minimum 1 gal. size. All Annuals shall be minimum 2-1/4" pot size.



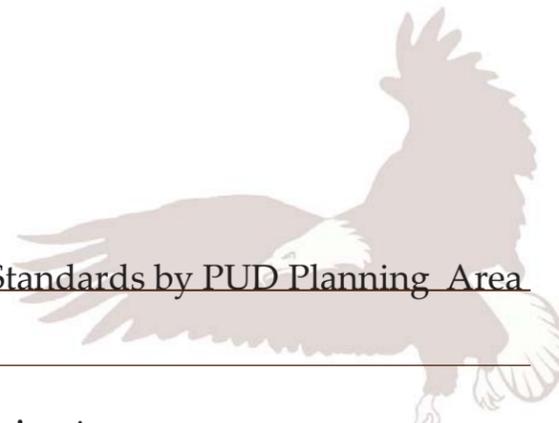
fig. 5.6.1



fig. 5.6.2



fig. 5.6.3



5. LANDSCAPE STANDARDS CONTINUED

SPECIFIC STANDARDS BY PUD PLANNING AREA

Additional specific standards for landscaping will be unique for each Planning Area. Those standards are as follows:

CR – Commercial Retail Planning Area

- a. Landscape areas shall be designed to designate clean, efficient and easy access to storefronts and shall not be obstructive to circulation patterns and accessibility. (See figures 5.7.1 and 5.7.2)
- b. Landscape areas shall be set back a minimum of 3'-0" along the back of curbs along storefronts to provide safe drop off/pickup for pedestrians.



fig. 5.6.4



fig. 5.7.1

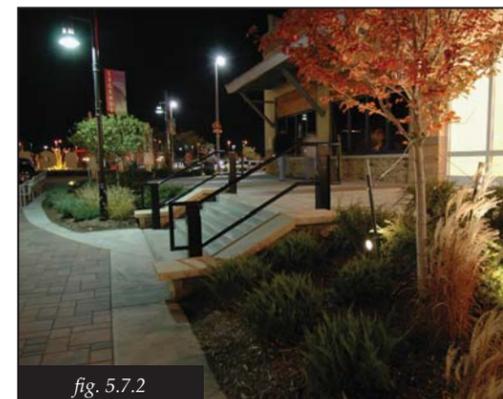


fig. 5.7.2

MUL – Mixed Use Lifestyle Planning Area

- a. Landscape areas shall be designed to designate clean, efficient and easy access to storefronts and shall not be obstructive to circulation patterns and accessibility.
- b. Landscape areas shall be set back a minimum of 3'-0" along the back of curbs, 5'-0" along head-in parking stalls, at pedestrian circulation and collection points along storefronts to provide safe drop off/pickup for pedestrians.
- c. Landscape areas shall be set back a minimum 8'-0" from all storefronts, 5'-0" along all side and rear facades.
- d. Street trees not in a landscape bed shall be in a tree well with tree grate system.
- e. Street trees required along streets, may be moved from the streetscape to an area close to its required location, so not be in conflict with storefronts, signage, and lighting. (See figure 5.7.1 and 5.7.2)
- f. A children's play area shall be provided with the MUL Planning area, or elsewhere within the project subject to approval by the Town

MU – Mixed Use Planning Area

The MU Planning Area is a second phase of development, landscape standards for this planning area will be prepared and submitted for review by the town as an addendum to this PUD Guide and PUD Development Plan at a subsequent stage in the development review process. Landscape standards will be consistent with the General Landscape Standards and with the overall design approach and level of quality established in the design guidelines specific to the CR and MUL Planning Areas.

EAST ENTRY TO EAGLE

The EACP identifies the eastern end of Eagle River Station as a location that is important to the eastern entry to the Town of Eagle. It identifies important design considerations to address community goals which include four-sided architecture, façade and roof articulation and perimeter landscape buffers. Other sections of this guide provide specific standards to address the goals and design considerations mentioned above. Refer to Chapters 5 Landscape Standards to address buffer requirements and landscape treatment. This Section of the PUD Guide includes direction on how landscaping and other design features can be used to enhance the east side of the development and provide an eastern gateway to the Town of Eagle.

The design of the eastern landscape buffer, the plantings within visible parking lots, the landscaping of pad sites and the design of visible building facades should act cohesively to filter, accent, enhance and direct views into the site creating an appropriate eastern gateway to the Town of Eagle. Finally, landscape monuments, building murals, architectural features and the landscape design of both on and off site roundabouts should contribute to the creation of a welcoming, inviting and high quality eastern gateway to the Town of Eagle. Specific design solutions for creating this gateway shall be determined during the Development Permit review process.



5. LANDSCAPE STANDARDS CONTINUED

OTHER PROJECT LANDSCAPE STANDARDS

Parking Lot Landscaping

A mix of deciduous and evergreen plant material shall be provided in the parking lot.

Parking lot islands shall be a minimum of 9' wide, face of curb to face of curb, and shall be full stall depth, and be curbed to prevent vehicles from intruding on them.

All parking lot aisles shall end in a landscaped parking lot island.

Parking lot islands shall contain a minimum of 1 tree and 3 shrubs or 6 perennials. Additional island area may be turf, rock or wood mulch, or ground cover. Mulches shall be a minimum of 3" in depth. (See figure 5.7.3)

Parking lot landscaped islands shall be irrigated.

All parking lot landscaping shall be counted toward the overall landscape and required tree count and landscaped area minimums.

Parking lot landscape islands shall be as generally depicted on the Eagle River Station Overall Site Master Plan. Individual islands may be moved to avoid utilities, lights, and other obstructions detrimental to plant development.



fig. 5.7.3

Buffers

There shall be buffers adjacent to the exterior boundaries of the project. Three specific buffer areas have been identified for the development. The three buffers are the I-70 Landscape Buffer, The Western Landscape Buffer, and The Railroad/Highway 6 Buffer. No architectural or structural noise barriers are permitted in any landscape buffers.

I-70 Landscape Buffer - There shall be a buffer area adjacent to the entire I-70 frontage and the Castle Creek Road frontage.

a. A minimum of 30' of landscape buffer shall exist between back of curb and the I-70 right-of-way, with the exception of the allowable encroachment as indicated on the Eagle River Station – I-70 Buffers Plan.

b. The buffer shall contain a range of 1 to 1.5 trees per 25 linear feet as selected from the approved plant list. Plant sizes shall be as outlined below in paragraph f. Between 1/3 to 1/2 of the trees shall be evergreen trees planted in groupings of at least 3 trees.

c. The buffer shall contain 1 shrub per tree as selected from the approved plant list. Plant sizes shall be as outlined below in paragraph f. Shrubs that will grow to a significant massing at maturity should be used in the buffer area. Shrubs should be planted in groupings of at least 7 shrubs with adequate spacing to allow for the growth of the tree and to create a significant mass of vegetation.

d. Native grasses and wildflowers shall be the ground cover. Seeding of wildflowers and grasses is acceptable. Sidewalks or trails, may be included in the buffer but are not required.

e. If sidewalks or trails are included in the buffer they may be counted as a part of the landscaped buffer to meet the minimum requirements. But they may not be on the edge of the buffer. A minimum of 5' of landscape buffer must exist on each side of trail or sidewalk.

f. Plant materials in the buffer shall be increased to the following: Deciduous Trees - 3", Evergreen Trees - 7-8', Shrubs - 5 gallon.

g. Landscape plantings shall be native in character to Eagle River area.

The Western Landscape Buffer – There shall be a continuous buffer adjacent to the western property line of the development.

a. A minimum of 25' of landscape buffer shall exist between any site improvement (curbs, buildings, etc) and the property line.

b. The buffer shall contain the following minimum plant material from the approved plant list: 1 tree per 25 feet of adjacent property line.

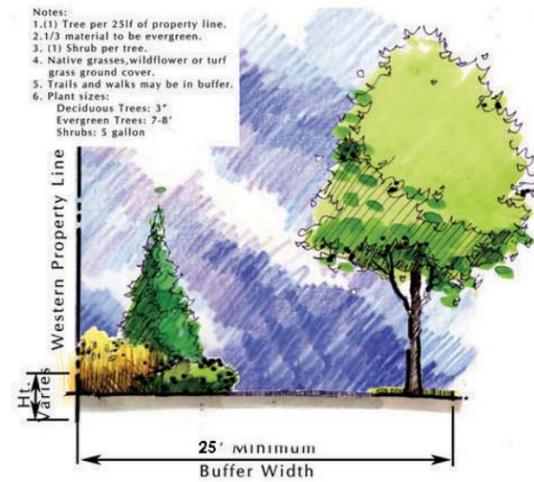
c. A minimum of 1/3 of the plant material shall be evergreen, planted in groupings of at least 3 trees. 1 shrub per required tree, planted in groupings of at least 7 shrubs.

d. Native grasses, wildflowers, or turf grass shall be the ground cover. Seeding of wildflowers and grasses is acceptable. Sidewalks or trails shall, may be included in the buffer but are not required.

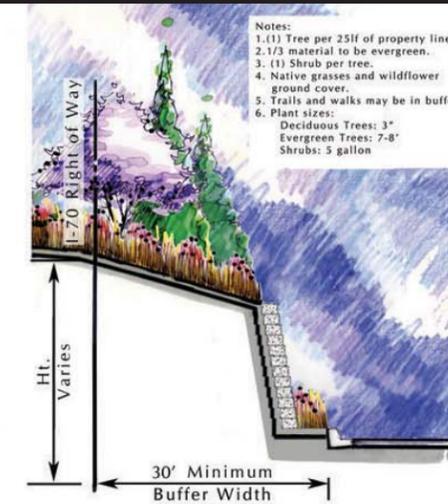
e. Buffer shall include berm(s) adjacent to western property line to buffer adjacent uses. Berm(s) shall have a maximum 3:1 side slope in turf areas and a 2:1 side slope in landscape bed and native grass areas, with a minimum 2' wide rounded top. Width and height shall vary based upon design aesthetic and location of adjacent bike trail, but should be a minimum of 10' wide.

f. If sidewalks or trails are included in the buffer they shall be counted as a part of the landscaped buffer to meet the minimum requirements. But they may not be on the edge of the buffer. A minimum of 5' of landscape buffer must exist on each side of trail or sidewalk.

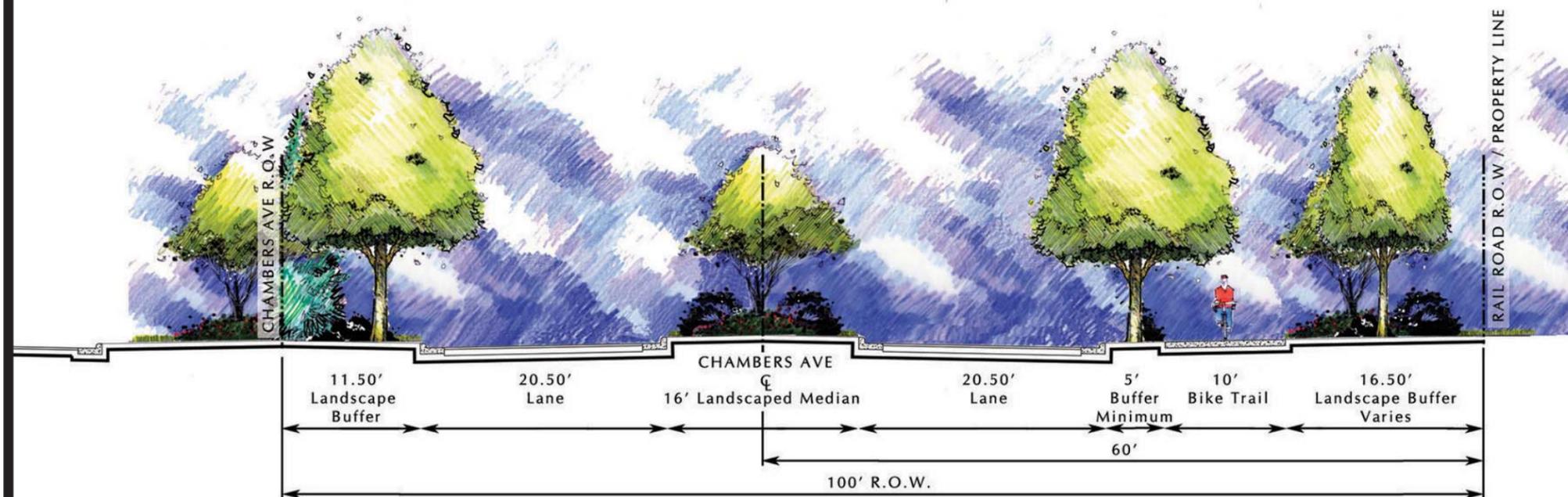
5. LANDSCAPE STANDARDS CONTINUED



WESTERN LANDSCAPE BUFFER SECTION



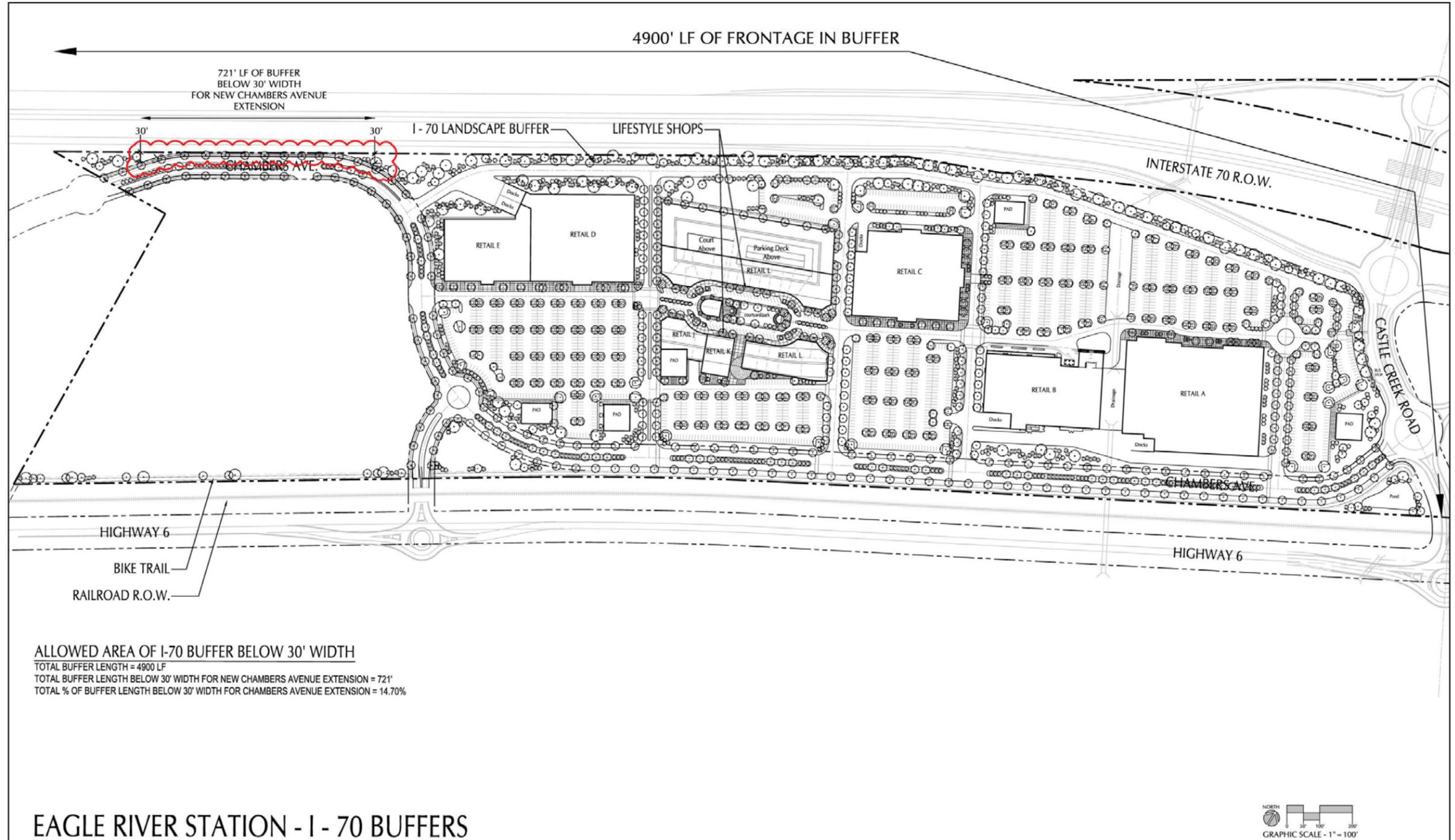
I-70 BUFFER SECTION



CHAMBERS AVENUE BUFFER SECTION

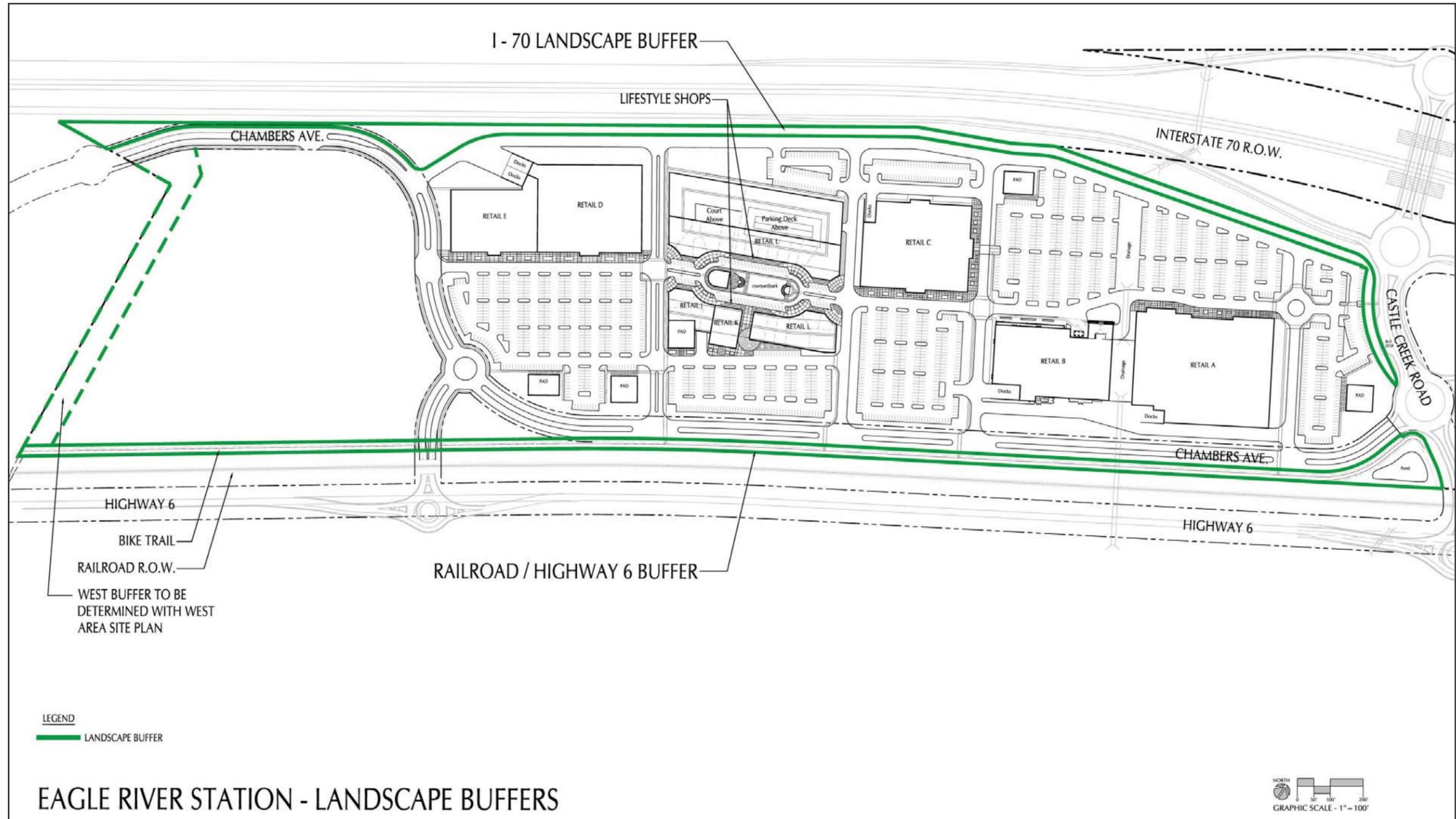


5. LANDSCAPE STANDARDS CONTINUED





5. LANDSCAPE STANDARDS CONTINUED





5. LANDSCAPE STANDARDS CONTINUED

g. Size of plant material in the buffer shall be: Deciduous Trees - 3" caliper, Evergreen Trees – 7-8', Shrubs – 5 gal.

h. Landscape plantings shall be native in character to the Town of Eagle area.

The Railroad/Highway 6 Buffer - There shall be a continuous buffer adjacent to the southern property line of the development.

a. A minimum of 15' of landscape buffer (exclusive of bike path) shall exist between any site improvement (curbs, etc) and the property line.

b. The buffer shall contain the following minimum plant material from the approved plant list: 1 tree per fifty (50) feet of adjacent property line.

c. Dense groupings of trees are not encouraged for safety and visibility issues for the trail. Trees should be planted in groups of less than 3. Evergreen trees are discouraged. Native shrubs and grasses are required to be planted at a rate of 4 shrub per required tree, planted in groupings of at least 7 shrubs.

d. Native grasses, wildflowers, or turf grass shall be the ground cover. Seeding of wildflowers and grasses is acceptable.

e. The buffer shall include the minimum 10' Eco Trail. The Eco Trail shall be a minimum of 5' from the back of curb, and a minimum of 2' from the property line. One stretching and exercise station shall be provided adjacent to the ECO Trail.

f. The trail shall be counted as a part of the landscaped buffer to meet the minimum requirements.

g. Plant material in the buffer shall be increased to the following: Deciduous Trees - 3" caliper, Evergreen Trees – 7-8', Shrubs – 5 gal.

h. Landscape plantings shall be native in character to Eagle River area.

Landscaping Submittals and Installation

The developer shall submit landscaping and irrigation plans for the project for conformance with the standards noted above as an element of the Development Permit review process.

Landscape drawings shall be submitted for approval per the Town of Eagle Code.

Building sites not immediately constructed shall be re-vegetated with grasses, ground covers, and/or wildflowers shall be provided and maintained, including dust control, until construction begins on those sites.

The landscaping for each pad site shall be reviewed during the Development Review process, and installed per the approved plans. Pad sites shall be subject to the CR Planning Areas and Parking Lot Landscape Standards, as shown above.

Landscape installation and care standards shall be provided at the time of final plan or development permit as applicable.



5. LANDSCAPE STANDARDS CONTINUED

RETAINING WALLS

Retaining walls will be necessary to develop the site. Retaining walls will be located adjacent to the southern property line (adjacent to the railroad R.O.W.) and on the northern property line (adjacent to the I-70 R.O.W.).

Southern Retaining Wall

The southern retaining wall averages approximately 4-5' in height on the eastern and western ends to a maximum of 19' where the Castle Creek drainage way exits the property.

Northern Retaining Wall

The northern retaining wall averages approximately 7-8' at the western and eastern ends, with a maximum of 24' at approximately the middle of the wall. The northern retaining wall also includes the access drive to the existing tunnel under I-70.

Standards

General: Retaining walls are required to develop the site. All reasonable measures should be taken to reduce the amount (height and length) of required retaining wall. Walls may be single or tiered, depending on the desired effect. Tiered walls should be offset so that at least a single row of plant material may be planted on the tier. Retaining walls shall follow all applicable town codes.

Where required, landscape buffer may be located either on top of wall or at bottom of wall to be determined through either Preliminary Plan or Development Permit Application process.

Materials: Retaining walls may be made from the following materials:

Cast-In-Place Concrete with any of the following surface treatments:

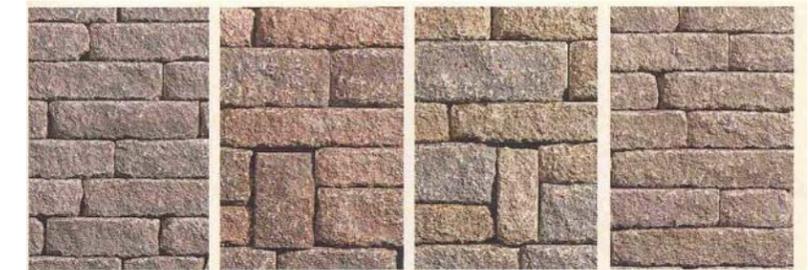
- o Manufactured/artificial stone
- o Natural stone
- o Integral colored
- o Integral colored, rubbed
- o Form liner
- o Integral colored, form liner
- o Cast in place architectural detail
- o Art
- o Any combination of the above
- o Must have a finished surface, raw concrete is not acceptable
- o Must have color or color blend that is compatible with surrounding environment colors
- o Must be compatible with development color and material palettes

Precast retaining wall block systems

- o Must have split face, flat face(no rounded, beveled or fish-scale profiles)
- o Must have a mottled color finish
- o Must be a blended color
- o Must have integral cap system
- o Must be small unit size
- o Must have color or color blend that is compatible with surrounding environment colors
- o Must be compatible with development color and material palettes

Natural Stone

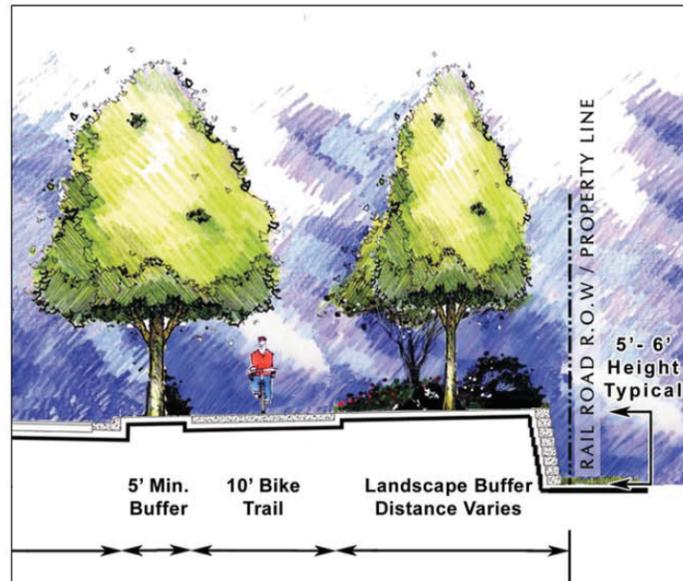
- o Must be from a native type stone
- o Must have color or color blend that is compatible with surrounding environment colors
- o Must be compatible with development color and material palettes



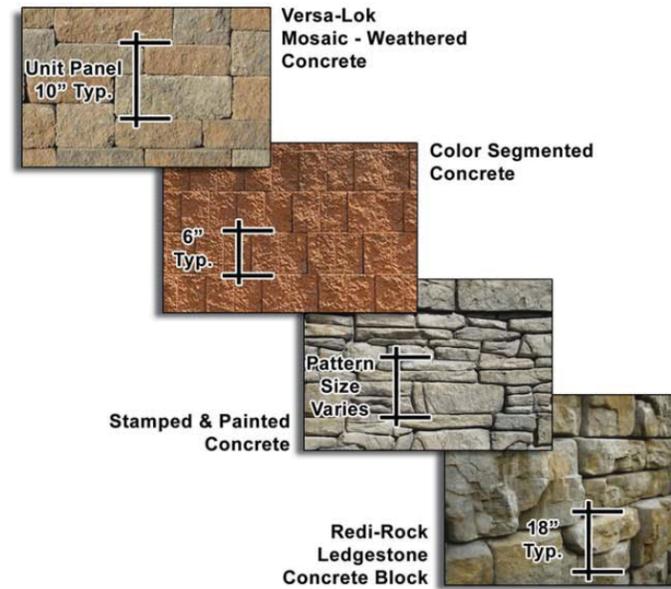
Possible material types images



5. LANDSCAPE STANDARDS CONTINUED



RETAINING WALL SECTION



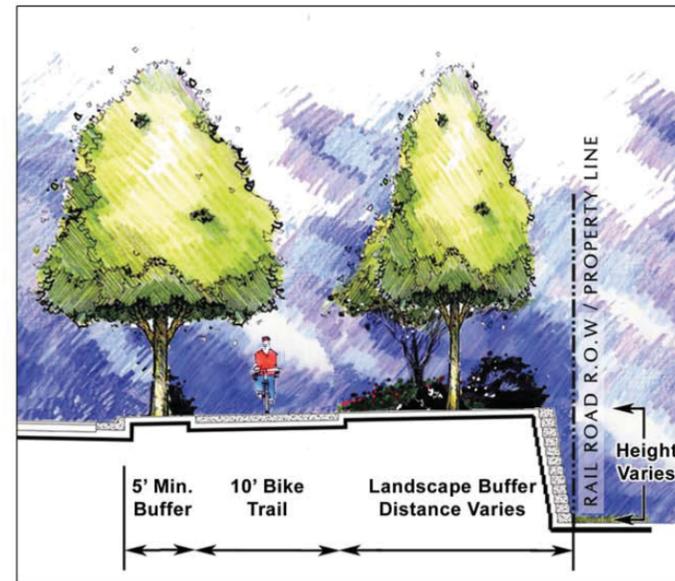
RETAINING WALL ELEVATION



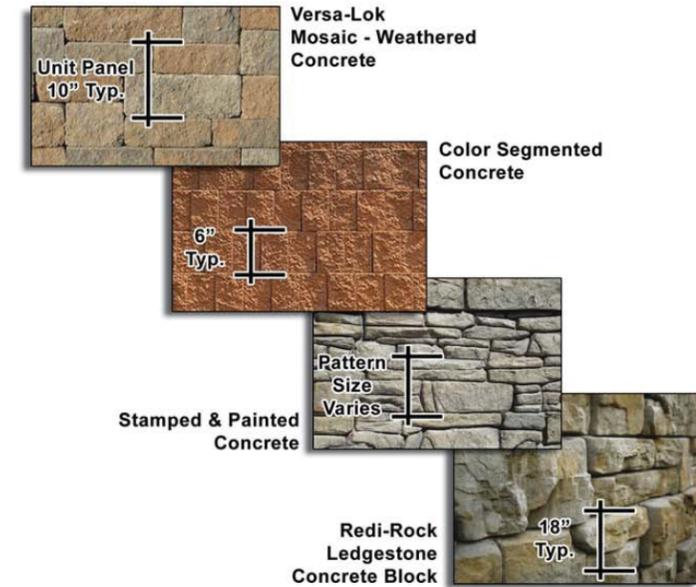
5. LANDSCAPE STANDARDS CONTINUED



PLAN - SINGLE RETAINING WALL



RETAINING WALL SECTION



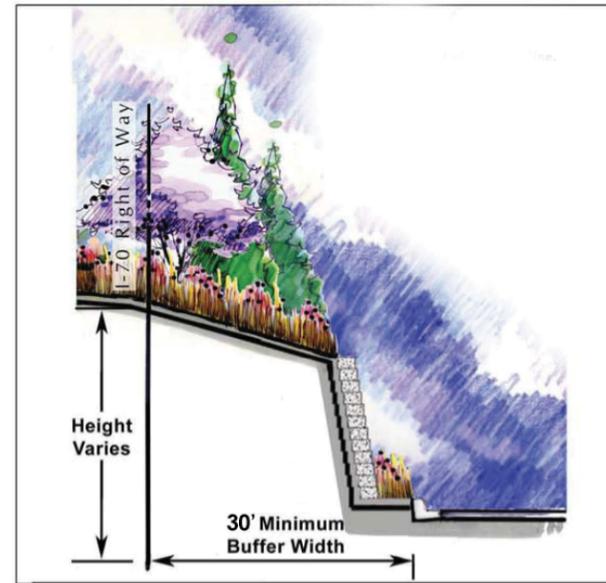
RETAINING WALL ELEVATION



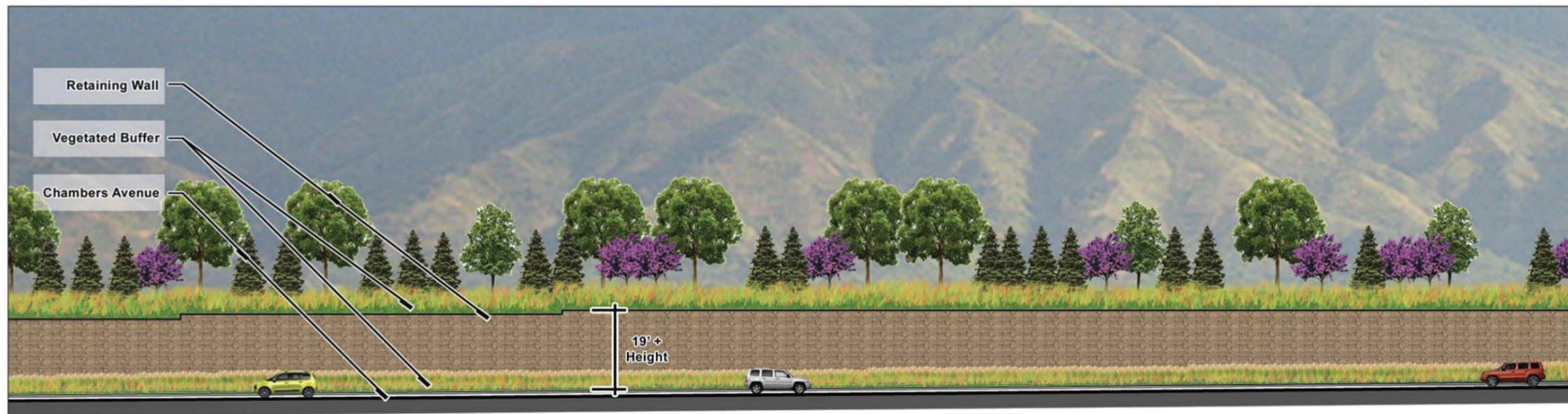
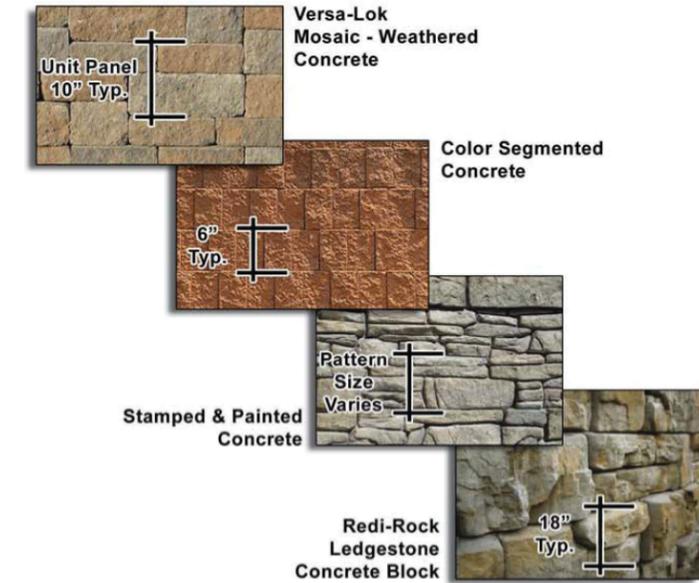
5. LANDSCAPE STANDARDS CONTINUED



PLAN - SINGLE RETAINING WALL



RETAINING WALL SECTION

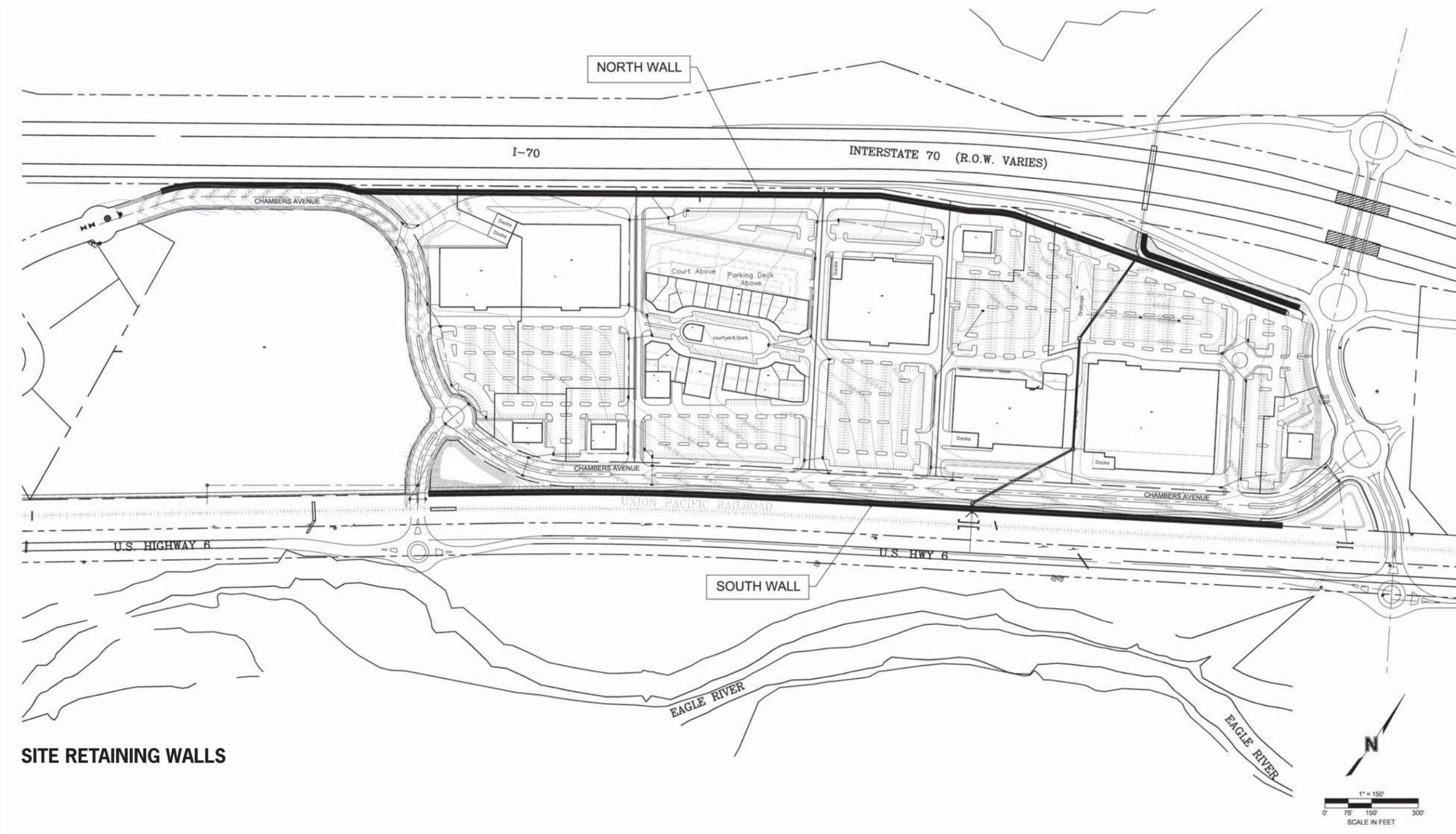


RETAINING WALL ELEVATION

EAGLE RIVER STATION - RETAINING WALL ADJACENT INTERSTATE - 70 BUFFER



5. LANDSCAPE STANDARDS CONTINUED



SITE RETAINING WALLS