

INTRODUCTION

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Eagle River Station (ERS) is a mixed use development that combines shopping, dining, entertainment, service, professional, commercial and office uses and residences centered around a pedestrian friendly “main street” atmosphere.

The intent is to create a development that is not only innovative and high quality but one that is integrated with the existing community, responsive to the land use goals of the greater Eagle Area Community Plan and include buildings and landscaping reflective of the region.

Eagle River Station will create development areas organized around strong centers which may include elements such as common open space, civic and commercial or mixed use buildings. The shopping and residential areas will be interconnected by strong pedestrian routes and

consideration will be given to the character of streets and sidewalks as inviting public spaces. The design of buildings within ERS will pay specific attention to the detailing at the pedestrian level. The combination of different materials in the landscape and buildings is the key to keeping the development interesting and creating an enjoyable pedestrian experience.

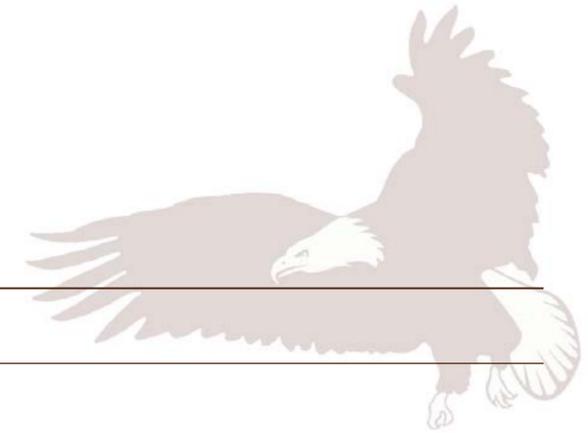
The streets within ERS will be tree-lined and interconnected to create a comprehensive transportation network that facilitates the movement of pedestrians, cars and bicycles. Vehicular routes will be integrated with pedestrian routes to provide a safe and pedestrian-friendly development. In addition, the site has been designed to accommodate a future regional transit stop to further integrate the development into the larger community. Provisions have also been made for a future train stop in the MU Planning Area.

The site plan will use landscaped open spaces and developed public space such as parks, wide sidewalks, landscape buffers and plazas to organize and focus residential and commercial uses and reinforce circulation patterns. Landscape materials will utilize native plants highlighting the Eagle River Valley environment.

The purpose of this PUD Guide and Control Document (PUD Guide) is to ensure the orderly development of ERS in a manner that achieves these broadly stated goals. This PUD Guide is to serve as the governing regulations that will control the development of ERS. The PUD Guide will serve as the “Zone District Regulations” for the PUD and is in conformance with Section 4.11.030 of the Town of Eagle Land Use and Development Code. The PUD Guide authorizes a total of 550 residential dwelling units and 732,500 square feet of commercial/retail area on 85.82 acres of land to be developed in two phases. Approval of this PUD Guide constitutes a vested property right pursuant to Section 24-68-103, C.R.S. as amended.



Existing Site - Eagle, Colorado.



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DESIGN PRINCIPLES

Several overriding design principles apply to all planning areas within Eagle River Station. These include:

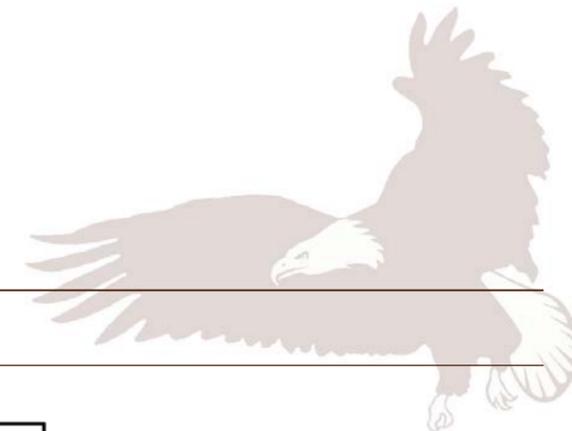
1. The design shall create a development that is integrated with the existing community and reflective of the traditional patterns of the region.
2. The architecture of the development should reflect the traditional Western Colorado architectural vernacular and express a sense of local character. *See figure i.2.2*
3. The plan shall create a comprehensive transportation network that facilitates movement of pedestrians, cars and bicycles to the site. Vehicular routes will be integrated with pedestrian routes to provide a safe and pedestrian friendly development (*See figure i.2.3*). In addition, the site will be designed to accommodate a future regional transit stop.
4. Design will focus on the character of the streets as inviting public spaces. The development will pay specific attention to the detailing at the pedestrian level.
5. Housing at Eagle River Station shall be integrated with the retail and entertainment uses. The housing plan shall create a variety of housing sizes and types that will help to create a distinct identity for the project.
6. Open spaces and developed public spaces such as parks, sidewalks, landscape buffers and plazas will be used to organize and focus residential and commercial uses, reinforce circulation patterns and protect natural areas.
7. The development shall use resources wisely and in a sustainable manner.
8. The project will recognize the Eagle River as an important resource of the community by implementing storm water quality measures to minimize the impact of the development.



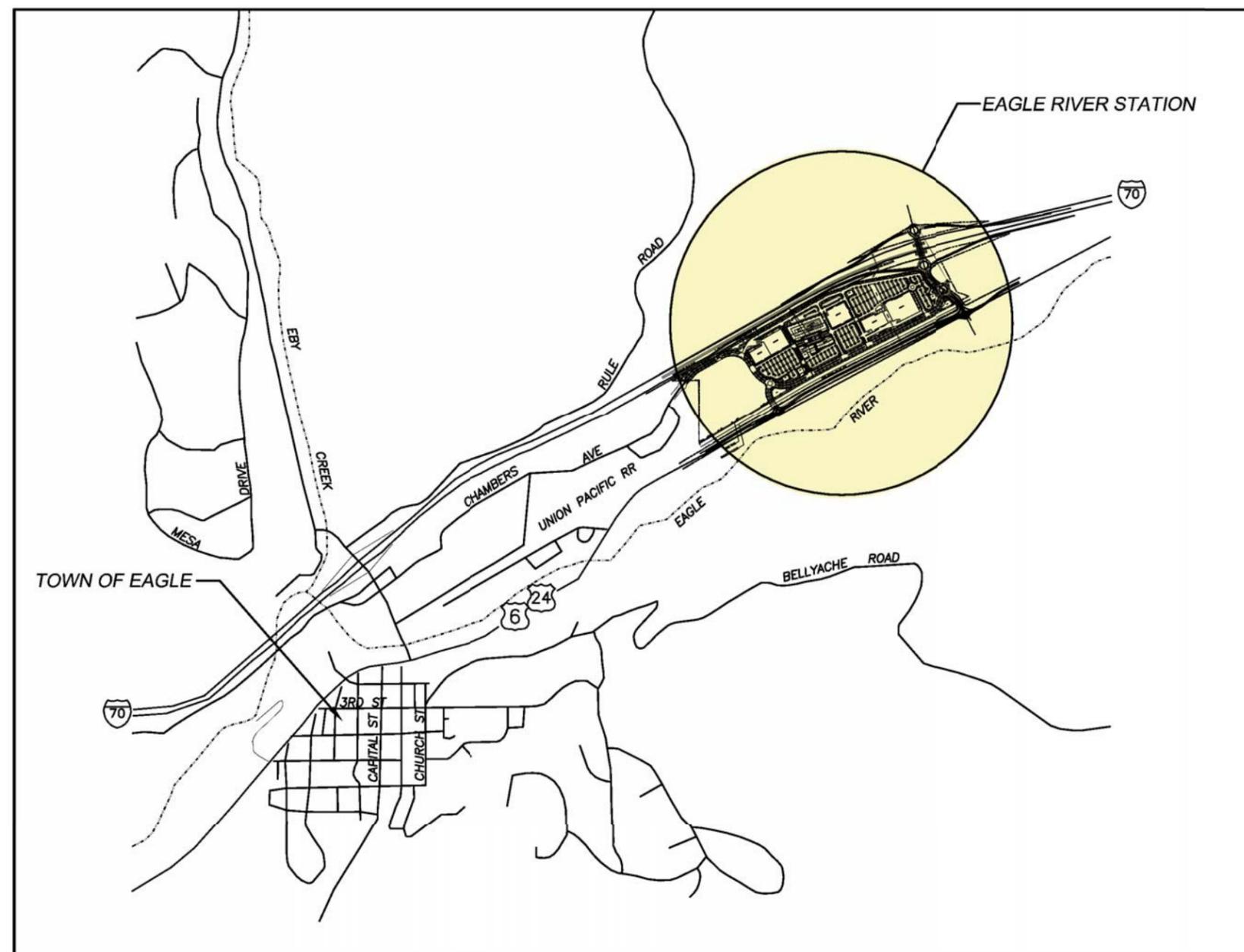
fig. i.2.2



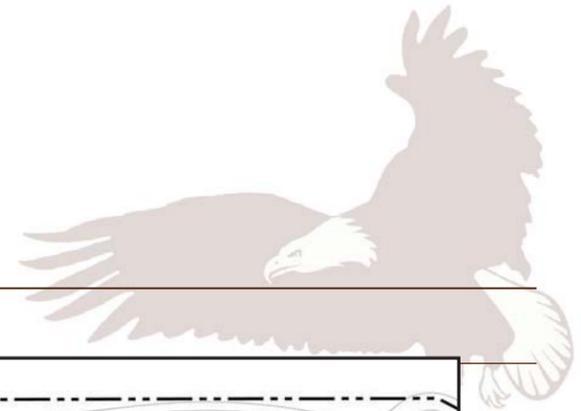
fig. i.2.3



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LOCATION PLAN



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The ERS Overall Site Master Plan constitutes the "Development Plan Map" that has been approved as an element of the Major Development Plan in accordance with Chapter 4.6 of the Town of Eagle Land Use and Development Code. It is anticipated that refinements to this site plan will occur during the Development Permit Review Process, refer to Chapters 15 and 16 of this PUD Guide for further information.

Note: Building footprints, landscape areas and parking and circulation provide a general indication of the project site design. Final site design is subject to refinement during the Development Permit Review Process.

EAGLE RIVER STATION - OVERALL PLAN



OVERALL MASTER PLAN