



AGENDA
Planning & Zoning Commission
Tuesday, September 6, 2016
6:00 P.M.

Public Meeting Room / Eagle Town Hall
200 Broadway
Eagle, CO

This agenda and the meetings can be viewed at www.townofeagle.org.

<u>ITEM</u>													
6:00pm – CALL TO ORDER													
APPROVAL OF MINUTES – August 2, 2016													
<u>PUBLIC COMMENT</u>													
<i>Citizens are invited to comment on any item not on the Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person.</i>													
<u>LAND USE FILES</u>													
NEW PUBLIC HEARINGS													
1.	<table border="0" style="width: 100%;"> <tr> <td style="width: 25%;">Project:</td> <td>Revisions to Section 4.03.040 - Definitions and Section 4.04 - Zoning of the Town of Eagle Land Use & Development Code</td> </tr> <tr> <td>File #:</td> <td>LURA16-01</td> </tr> <tr> <td>Applicant:</td> <td>Town of Eagle</td> </tr> <tr> <td>Location:</td> <td>N/A</td> </tr> <tr> <td>Staff Contact:</td> <td>Tom Boni (Town Planner)</td> </tr> <tr> <td>Request:</td> <td> 1. Revise Section 4.03.040 to define dog daycare facility. <i>(Staff requests continuation to October 4, 2016)</i> 2. Revise Section 4.04.070 to define regulations for dog daycare facilities. <i>(Staff requests continuation to October 4, 2016)</i> 3. Revise Section 4.04.070 to modify regulations for indoor recreation facilities. (Approved by Board of Trustees – April 26, 2016) 4. Revise Section 4.04.070 to define regulations for marijuana testing facilities. (Approved by Board of Trustees – August 23, 2016) </td> </tr> </table>	Project:	Revisions to Section 4.03.040 - Definitions and Section 4.04 - Zoning of the Town of Eagle Land Use & Development Code	File #:	LURA16-01	Applicant:	Town of Eagle	Location:	N/A	Staff Contact:	Tom Boni (Town Planner)	Request:	1. Revise Section 4.03.040 to define dog daycare facility. <i>(Staff requests continuation to October 4, 2016)</i> 2. Revise Section 4.04.070 to define regulations for dog daycare facilities. <i>(Staff requests continuation to October 4, 2016)</i> 3. Revise Section 4.04.070 to modify regulations for indoor recreation facilities. (Approved by Board of Trustees – April 26, 2016) 4. Revise Section 4.04.070 to define regulations for marijuana testing facilities. (Approved by Board of Trustees – August 23, 2016)
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Applicant:	Town of Eagle												
Location:	N/A												
Staff Contact:	Tom Boni (Town Planner)												
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<u>ITEM</u>	
	5. Revise Section 4.04.100 to modify regulations regarding medical and retail marijuana cultivation facilities and infused-product manufacturing facilities and to expand the area in the Town of Eagle where these uses are permitted. (Approved by Board of Trustees – August 23, 2016)
2.	Project: Addison Center (2016 Renewal)
	File #: DR07-10(R)
	Applicant: Willis Wright
	Location: Northwest Corner of Sylvan Lake Road & Capitol Street
	Staff Contact: Tom Boni (Town Planner)
	Request: 1-Year extension of a Minor Development Permit
3.	Project: Tumbleweed Dispensary
	File #: DR16-04
	Applicant: Mark Smith
	Location: 1125 Chambers Avenue
	Staff Contact: Tom Boni (Town Planner)
	Request: Major Development Permit to construct a 4,000 square foot commercial building in the Commercial General (CG) Zone District; Zoning Variance related to signing and Development Standard Variance related to the location of the loading dock.
<u>TOWN BOARD OF TRUSTEES MEETING REVIEW</u>	
<i>Staff update to the Planning & Zoning Commission on recent decisions made by the Board of Trustees on various Land Use files.</i>	
1. Creekside Lofts Development Plan	
<u>OPEN DISCUSSION</u>	
<u>ADJOURN</u>	



**Planning and Zoning Commission
Meeting Minutes
August 2, 2016**

PRESENT

Jason Cowles, Chair
Stephen Richards
Charlie Perkins
Cindy Callicrate
Donna Spinelli

STAFF

Tom Boni – Town Planner
Danielle Couch – Administrative Assistant
Kevin Sharkey – Assistant Engineer

ABSENT

Jamie Harrison
Jesse Gregg
Max Schmidt

This meeting was recorded and the CD will become part of the permanent record of the minutes. The following is a condensed version of the proceedings written by Danielle Couch.

CALL TO ORDER

The regular meeting of the Planning and Zoning Commission held in the Eagle Town Hall on August 2, 2016, was called to order by Jason Cowles at 6:04 p.m.

APPROVAL OF MINUTES

Cindy Callicrate moved to approve the minutes of the July 19, 2016, Planning & Zoning Commission Meeting. Stephen Richards seconded. The motion passed unanimously with Donna Spinelli abstaining.

PUBLIC COMMENT

None

LAND USE PUBLIC HEARINGS

V16-05 United Rentals Design Variance

Cowles opened File V16-05, United Rentals Design Variance to install a six-foot high, slatted chain link fence around the sides and rear of the property. United Rentals does not own the property but has permission from the property owner to apply for the design variance and perform the subsequent work. The application is to remove the old cedar fence and replace it with vinyl coated, slatted chain link fence around the rear and side yards up to the front of the property. A welded steel fence is proposed for the front of the property.

Staff recommended approval of the variance with the condition that plantings on the west side of the property (along Nogal Gulch) be planted on the outside of the fence with Rocky Mountain Juniper. The fence on the east side of the property (on the property line) would need to be placed to allow for plantings.

Applicant Justin Gartner has been a general contractor for United Rentals since 2006. United Rentals in Eagle is currently the only equipment rental facility between Grand Junction and Denver. The reason for this application is to allow for additional space in the loading yard. The gate on the front of the property would remain open during business hours. There are some natural plants beyond what the applicant has proposed for landscaping along the west side of the property. The applicant requests that the adjacent property owner to the east to be responsible for landscape on the east side of the fence.

Cowles opened public comment and hearing none, closed public comment.

The Commission discussed whether to require the applicant to install landscaping on the east side of the property and agreed that it would be nice but there is a high likelihood that trees would get boxed in by adjacent property fences and be unmaintained.

Richards made a motion to approve file V16-05 with landscaping along the west side of the property to be approved by Staff and for the chain link fence to be vinyl coated green and installed with slats of a similar green. Perkins seconded. The motion was unanimously approved. Cowles closed file V16-05.

V16-04 Creekside Lofts Side Setback Variance

V16-06 Creekside Lofts Front Setback Variance

DR16-01 Creekside Lofts Development Plan

Cowles opened files V16-04, V16-06 and DR16-01 for the Creekside Lofts Development; there are two variances, one side yard and one front yard setback; a development standard variance; and a development permit.

The applicant, Rick Pylman, explained the history of the parcel, originally known as the Ewing parcel, and the constraints on the property related to an existing property line, a previous right of way dedication, existing utility easements, and the shape of the property.

The first variance request (V16-06) is for a front yard setback on the proposed single family home. Due to the shape of the property, three sides of the home are considered “front yard” and require 25-foot setbacks from the right of way and must avoid a landscape easement on the Sylvan Lake Road side. The applicant is proposing a 20-foot setback on the north side of the property (from the garage to the existing hammerhead) and an 18-foot setback on the east side of the property (from the front of the house to the existing right of way line). Although the right of way line for Prince Alley is 18 feet from the front of the house, the edge of pavement is 35 feet.

The second variance request (V16-04) is for a side yard setback on the proposed fourplex. Due to the phasing of this development, a fourplex was built and has already been subdivided, creating a property line 15 feet from the building. Because of the site constraints the proposed fourplex is, at its narrowest, 9.5 feet from the existing property line; 6.5 feet shy of the minimum required setback (12.5 feet or half the height of the building (16 ft.), whichever is greater). Staff has recommended shifting the two proposed townhouses three feet toward Sylvan Lake Road in order to maximize the setback between the existing fourplex and the proposed fourplex. The applicant believes that the extra three feet is better served as a buffer between the property and Sylvan Lake Road.

The development standard variance is requested to accommodate the townhome parking area and to allow cars to exit by backing on to Prince Alley, rather than driving out forward.

The applicant also discussed the constraints when designing the pedestrian path that will connect with the existing multi-use path along Sylvan Lake Road. The design shows a shortened path with two small sets of stairs. The applicant chose this design due to existing landscape easements, utility easements and aesthetics.

Callicrate asked what the required street improvements would be for the development; she is concerned about increased traffic on Prince Alley. Boni responded that there are no required improvements and that Prince Alley is a very low volume road. Cowles noted that he lives on a similar style of street and there is no problem with traffic.

Perkins asked if there is any lighting proposed with the development. Sharkey responded that there is no proposed lighting and the roundabout is quite well lit and there will be additional lighting installed with a new pedestrian crossing as a requirement of the Sylvan Lake Circle development.

Cowles opened public comment.

Tegan Davis, 701 Prince Alley: Ms. Davis asked if staff could define “low volume.” Sharkey said that the average daily traffic will remain low even with the addition of eight units. He estimated 2.5 trips per day per unit. Ms. Davis said there is not a lot of room on Prince Alley and there is heavy pedestrian traffic. It is already difficult to exit onto 6th Street. She disagrees with the design for steps on the pedestrian connector path but agrees that the side variance should be approved and additional landscaping maintained on the west side of the property.

Bruce Norring, 702 Prince Alley: Mr. Norring said that what helps control the traffic now is having a narrow street and that if the streets were wider traffic would be faster. He also agreed on a path without steps and would like additional landscaping. He asked if a unit could be removed to gain 20 feet; Pylman said they already did that to fit within the waterline easements. Mr. Norring also asked if there were not windows on the facing walls of the proposed townhomes if they could be built closer to each other.

Mike Stevens, 713 Prince Alley: Mr. Stevens doesn't want any street lights installed on Prince Alley. He said having stairs on the path would be hard and asked who would be responsible for maintaining them in the winter.

Kyle Hoiland, 19 Prince Alley: Mr. Hoiland is against the single family home being built across from his driveway and asked if the variance were denied if that meant the house would not be built. However, he is glad to see more housing built in Eagle and in the Valley.

Cowles closed public comment.

Spinelli asked what the price points are for the townhomes and the single family home. Eric Eves, the project developer, said he doesn't know yet but the last townhomes sold well. Spinelli asked about the marketability of the single family home due to its size and location. Eves said they had tried a lot of different designs and wanted to accommodate a master on the main with added space in the basement. They wanted to design the most livable home given the constraints of the property and build to improve the area rather than maximize use by right.

Perkins asked about the location of the guest parking spaces and whether they are meant to support the townhomes or the single family home. Pylman said they were requested by staff and were placed to take advantage of the available right of way.

Callicrate reiterated her concern about the narrow roadway and increased traffic. She thinks it is a big mistake to not improve the road and also thinks the stairs on the path are a bad idea.

Perkins asked if there might be a problem for emergency vehicles to respond given the width of Prince Alley and also asked who is responsible to maintain the road. Cowles said he is confident that the road is adequate to support the traffic and was designed to allow emergency response vehicles. The Town is responsible to maintain the road; even though it is called an “alley” it is a town street. Cowles asked Staff if the Fire District will be reviewing this application; Boni responded that it will go to the Fire District for approval before going to the Board of Trustees.

Cowles made a motion to approve file V16-04 with the side yard setback as shown on the plans at 9.5 feet. Richards seconded. The motion carried with Callicrate dissenting.

Cowles made a motion to approve file V16-06 with the front yard setbacks as shown on the plans. Perkins seconded. The motion was unanimously approved.

Cowles made a motion to approve file DR16-01 with the following conditions:

1. The applicant will pursue design of a path connection from Sylvan Lake Road at grade and maybe to the north. Staff will approve final alignment of the path.
2. The file be referred to the Fire District to approve emergency vehicle access.
3. Staff will provide traffic counts and trip generation information to the Board of Trustees for consideration.

Perkins seconded. The motion was unanimously approved. Cowles closed files V16-04, V16-06 and DR16-01.

TOWN BOARD OF TRUSTEES MEETING REVIEW

1. Sylvan Circle Development Plan – Staff will be fine-tuning the Development Improvements Agreement and the Local Employee Residency Plan (LERP) for the development.
2. Rocky Mountain School of Discovery – Continued to August 23 meeting to review traffic study.
3. Boyz Toyz – Continued to August 23 meeting in order to get a boundary survey.
4. Marijuana Code Updates – Approved and an ordinance is getting drafted for execution.

OPEN DISCUSSION

Perkins asked if the Town has any leverage to request maintenance be performed on the railroad bridge; Boni said we could address that with the Board of Trustees. Perkins also asked if there is a plan for the Town to consider view corridors as development continues. Boni will review the Eagle Area Community Plan (EACP) because he thinks there is mention of view corridors there. Other view corridor plans he has seen are very technical.

ADJOURN

Cowles made a motion to adjourn the meeting. Richards seconded. The motion passed unanimously. The meeting was adjourned at 8:26 p.m.

Date

Jason Cowles – Planning and Zoning Commission Chair

Date

Danielle Couch – Administrative Assistant

DRAFT



CERTIFICATE OF RECOMMENDATION

TO: Planning and Zoning Commission

FROM: Department of Community Development

DATE: Tuesday, September 6, 2016

PROJECT NAME: Addison Center – Phase II

FILE NUMBER: DR07-10(R) 2016 Renewal

APPLICANT: Willis Wright

LOCATION: Northwest Corner of Sylvan Lake Road and Capitol Street

REQUEST: 1-year extension of a Minor Development Permit.

STAFF CONTACT: Tom Boni, Town Planner

APPLICABLE SECTION(S) OF MUNICIPAL CODE: Section 4.06.010 (Development Review)

EXHIBITS:

- A. Letter from Applicant
- B. Vicinity Map
- C. Site Plan
- D. Building Elevation

PUBLIC COMMENT:None Received

DISCUSSION:

A Minor Development Permit was approved for Phase II of the Addison Center by the Planning and Zoning Commission on September 18, 2007. Phase II of the Addison Center consists of a mixed use building located at the northwest corner of Capitol Street and Sylvan Lake Road. Phase I of the Addison Center is located directly to the south of the Eagle Ranch Liquor Store and was constructed in December of 2008. Phase I of the Addison Center consists of roughly 5,000 square feet of commercial space on the ground floor and four residential lofts (which have all been sold) on the second floor.

Pursuant to Section 4.06.010.D of the Land Use and Development Code, a development permit shall expire “Three (3) years from its effective date, unless application for a building permit is made or unless application for renewal of the development permit is approved pursuant to this Chapter...” Furthermore, per Section 4.060.010.E, “A development permit may be renewed for a period not to exceed one year from its expiration date or abandonment date, whichever is later, by the Planning Commission.” In the past, the Planning and Zoning Commission has approved several, one year extensions for this Minor Development Permit. The current, one-year extension (approved in September of 2015) for the Minor Development Permit is set to expire on September of 2016. Therefore, the Applicant has submitted a request for an additional one-year extension, which, if approved, would allow for the Minor Development Permit to remain valid until September of 2017.

COMPLIANCE WITH LAND USE AND DEVELOPMENT CODE (SECTION 4.06.010)

As mentioned above, Section 4.06.010.D of the Land Use and Development Code states that a development permit shall expire “Three (3) years from its effective date, unless application for a building permit is made or unless application for renewal of the development permit is approved pursuant to this Chapter...” Furthermore, Section 4.060.010.E grants the Planning and Zoning Commission the authority to approve up to a one-year extension for any development permit that is set to expire.

The Minor Development Permit that was approved for Phase II of the Addison Center is in compliance with the Design Standards of the Eagle Ranch Planned Unit Development. The exceptional architecture and urban design reflected in this Development Permit are appropriate for this location at the intersection of Sylvan Lake Road and Capitol Street.

STAFF COMMENTS

Given the current market conditions, Staff acknowledges the desire of the applicant to delay the construction of Phase II of the Addison Center until conditions improve and the market can absorb this additional space. However, with the uptick in the local economy and the soon to be completed Castle Peak Senior Care Facility staff believes that market conditions are changing

We believe that the extension of the Minor Development Permit is to the benefit of both the Applicant and the Town. By granting an extension of the Development Permit it prevents the Applicant from being required to resubmit their Minor Development Permit application for this project, which saves the applicant both time and money. Furthermore, an extension of the Minor Development Permit is to the benefit of the Town because as market conditions improve the Applicant has the ability to proceed with the construction of Phase II of the Addison Center (pursuant to issuance of a building permit from the Town) at any point in time over the next year. Construction of Phase II of the Addison Center would be a positive addition to the Eagle Ranch Village and help further define this key intersection at Sylvan Lake Road and Capitol Street.

STAFF RECOMMENDATION

Staff recommends approval of the one-year extension for DR07-10 with the following condition:

1. At time of construction, the Applicant shall meet with Town Staff to insure that any exterior lighting is in compliance with the Town's lighting standards.

PLANNING & ZONING COMMISSION

1. Questions of Staff and/or Applicant
2. Public Comment
3. Deliberations

Eagle Ranch

VILLAGE

July 28, 2016

VIA E-MAIL AND HAND DELIVERY

Mr. Tom Boni
Town Planner
Town of Eagle
P.O. Box 609
Eagle, CO 81631

Re: Addison Center
Minor Development Permit Extension
Land Use Permit #DR07-10

Dear Tom:

Please accept this letter as a request to extend the Minor Development Permit #DR07-10 for one year pursuant to the Town Land Use Code Section 4.060.101E. The current Permit expires on September 4, 2016.

The Minor Development Permit was approved on September, 2007 and provided for the construction of two mixed use buildings at the corner of Capitol Street and Sylvan Lake Road. The first building, Addison Center, was completed in December 2008 and the four residential lofts were sold. The commercial component of the building (approximately 5,000) has remained mostly vacant as the demand for commercial space is limited. The current market conditions do not warrant the construction of Phase II of the project at this time.

The Town of Eagle has extended the Permit for the last several years. Please schedule this extension to be heard before the Plan & Zoning Committee and let me know if you need additional information. Enclosed is a check in the amount of \$150.00 for the application deposit.

Sincerely,

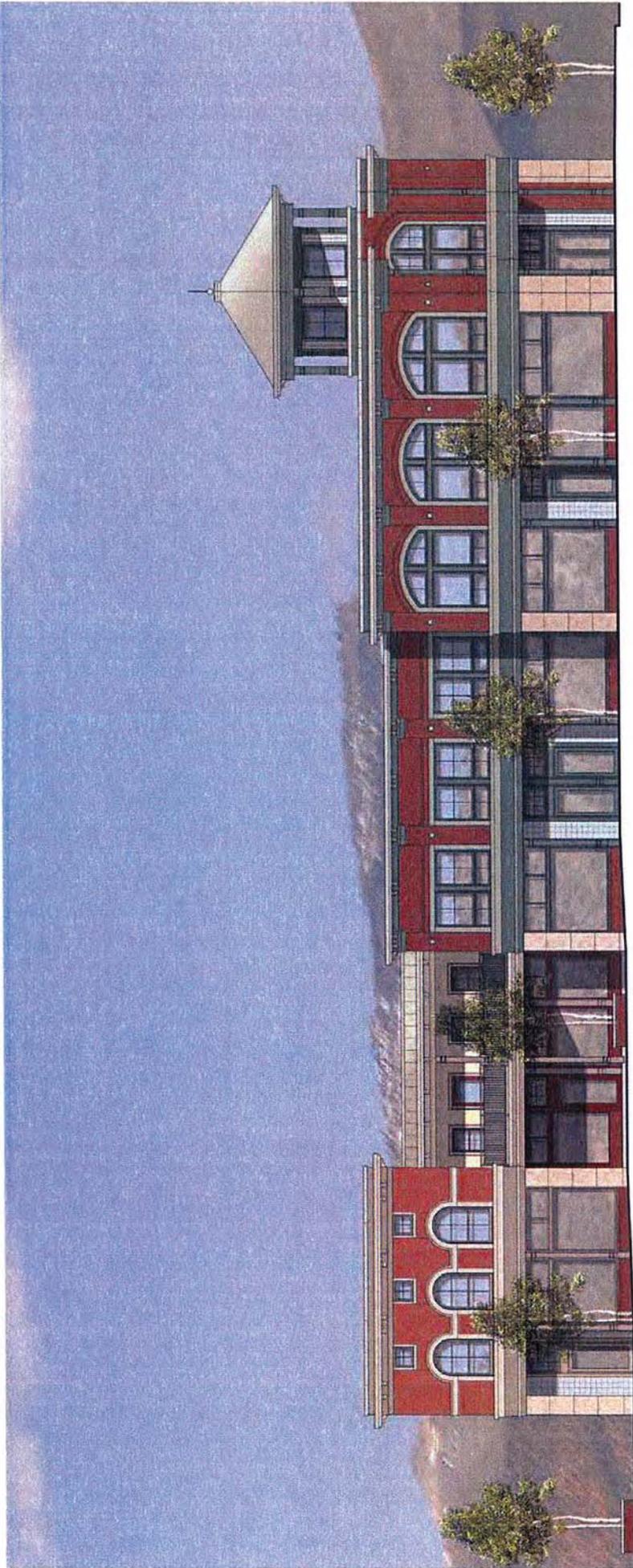
Eagle Ranch Village, LLC



Willis J. Wright

enclosure





Sylvan Lake Road Elevation

Addison Center - Eagle Ranch Village

Arris West Architects, PC



CERTIFICATE OF RECOMMENDATION

TO: Planning & Zoning Commission
FROM: Department of Community Development
DATE: Tuesday, September 6, 2016
PROJECT NAME: Tumbleweed
FILE NUMBER: DR16-04
APPLICANT: Mark Smith
LOCATION: 1125 Chambers Avenue

APPLICABLE SECTION(S) OF MUNICIPAL CODE:
Section 4.06 (Development Review)
Section 4.07 (Development Standards)

EXHIBIT(S):

- A. Applicant Letters
- B. Application Packet
- C. Aerial Photo
- D. Site and Architectural Plans

PUBLIC COMMENT: None Received

STAFF CONTACT: Tom Boni, Town Planner

REQUEST: Applicant is requesting a Major Development Permit to construct a 4,000 square foot commercial building in the Commercial General (CG) Zone District. There are two variances associated with this application, one Zoning Variance related to signage and one Development Standard Variance related to the location of the loading dock on the rear of the building.

DISCUSSION:

The site for this building (Lot C12-B) located at 1125 Chambers Avenue was recently created through the Trotter Minor Subdivision, a resubdivision of Lot C12 of the Eagle Valley Commercial Park F.3. This one-acre property is within the Commercial General (CG) Zone District and there are six special use permits granted to this property for marijuana businesses (medical and recreational – sale, infused products, and grow operations). In 2014 a Development Permit was issued for a similarly sized building to be the first phase of a multi-phase project called Rocky Mountain Pure on a larger three-acre property. The development team for this earlier project split apart and a new operator, Mark Smith of Tumbleweed Companies, LLC has been selected to operate the marijuana businesses on a smaller one-acre property.

The applicant is requesting a Design Variance (please refer to Section 4.07.060) from the Town's Development Standards as part of their application for a Major Development Permit. The Development Standards for the Chambers Avenue Commercial District Section 4.07.022.C.3 requires that service areas and loading docks are located to the sides of the building which do not face the primary street or I-70. Due to the narrowness of this lot it is difficult or impossible to accommodate the loading dock on the side of the building and the proposed loading area is located on the north side of the building facing I-70. Please see further discussion on the requested Design Variances below.

In addition, the applicant is seeking a Sign Variance to allow additional signage on the building. The applicant is requesting approximately 37 square feet per side and placing the signage on both the west and north facing walls of the building. The code limits the wall sign for a business in the CG Zone District to 30 square feet. As currently shown the total wall signage measures approximately 91 square feet. One suggestion is to remove the word "Dispensary" and simply sign the building "Tumbleweed." That approach reduces the two signs to a total of 38 square feet. The Code allows approximately 25 square feet of wall sign to be placed on the back of the building facing I-70. The green cross measures 16 square feet.

MAJOR DEVELOPMENT PERMIT STANDARDS (SECTION 4.06)

The requirements for a Development Permit as described in Section 4.06 of the Land Use and Development Code are:

1. Compliance with the Town's regulations, goals, policies and plans.
2. Any adverse impacts resulting from the proposed development are reasonably and adequately mitigated to minimize such impact.

FINDINGS FOR MINOR DEVELOPMENT PERMIT

Per the Town's Land Use & Development Code, properties located east of Nogal Gulch and which are zoned either Commercial General (CG) or Industrial (I) are appropriate for Medical and Retail Marijuana Businesses. 1125 Chambers Avenue is located east of Nogal Gulch and is zoned Commercial General (CG).

The proposed Tumbleweed Dispensary is located within an area designated as "Commercial" on the Future Land Use Map of the 2010 Eagle Area Community Plan (2010 EACP). The general intent of the "Commercial" Land Use Designation is to provide for a variety of commercial uses that are important to the local and regional economy, concentrate commercial uses in areas that are easily accessed by automobiles and trucks and to create commercial areas that provide for one-stop shopping.

In addition to having a "Commercial" Land Use Designation, the site is located in the "Interstate 70 Influence Character Area." Planning Principle "C" of the I-70 Character Area states that this part of Eagle should "Promote sustainable businesses that contribute to the diversification of the local economy." The Tumbleweed Dispensary is a new, specialized business that will expand the Town's economic base.

Chapter 11 of the 2010 EACP discusses a variety of Goals, Policies and Strategies for encouraging Economic Development in the Town. Recommended Strategy E, under Economic Development Policy 1.1, reads "Promote businesses and activities that benefit from Eagle's proximity to the I-70 corridor." Economic Development Policy 1.2 reads, "Expand retail diversity to reduce sales tax leakage." Recommended Strategy A under this Policy is to "Support opportunities to expand the number and diversity of businesses in Eagle." The Tumbleweed Dispensary will be constructed on a vacant parcel, and once constructed will be a new, unique business in the Town of Eagle, which will not only create job opportunities but will bring in additional sales tax revenues to the Town. In Staff's opinion, this application helps to achieve many of the Goals, Policies and Strategies defined in Chapter 11 of the 2010 EACP.

It is Staff's judgment that the proposed Tumbleweed Dispensary is in compliance with the Town's Land Use & Development Code, as well as being in general compliance with the 2010 EACP, which emphasizes the importance of attracting new business to Eagle and diversifying the Town's economic base.

Staff also believes that through the proposed landscape plan, the siting of the dispensary close to Chambers Avenue and the proposed extension of the 8 inch water main to a new fire hydrant, any adverse impacts resulting from the proposed development are reasonably and adequately mitigated to minimize such impact.

DESIGN VARIANCE STANDARDS (SECTION 4.07.060)

Per Section 4.070.060 of the Land Use & Development the body authorizing a development permit may grant a variance from the strict application of the requirements of Chapter 4.06 based on the following findings:

1. There exists on the property in question exceptional topographical, soil, or other sub-surface condition, or other extraordinary conditions peculiar to the site, existing buildings, or lot configuration, such that strict application of the regulation from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the applicant; OR
2. That the public good would be better served by granting the variance.

FINDINGS FOR DESIGN VARIANCE

Section 4.07.22 – Chambers Avenue Commercial Area defines the Development Standards for commercial properties along Chambers Avenue. As discussed above, the applicant has located the loading dock for this building on its north side because of the narrowness of the property not affording access to a dock located on either side of the building facing east or west. The applicant has located a dog park in the rear of the site between the building and I-70 and has a landscape plan intended to provide some screening of the loading area when viewed from I-70.

The requested loading dock is not large and if placed on the east or west side of the building would be visible to vehicles on Chambers Avenue. In addition, there is more limited area for the location of landscape materials and the loading dock itself would be significantly closer to the viewer.

Therefore, Staff believes that it would be reasonable to make a finding on the basis that the public good is better served by granting the variance than not.

ZONING VARIANCE STANDARDS

Listed below are the findings required by Section 4.05.020 of the Land Use & Development Code for approval of a Zoning Variance:

1. That the variance granted is without substantial detriment to the public good and does not impair the intent and purposes of the Town's regulations, goals, policies and plans, including the specific regulation in question; and
2. That the variance granted is the minimum necessary to alleviate the hardship; and
3. That there exists on the property in question exceptional topography, shape, size or other extraordinary and exceptional situation or condition peculiar to the site, existing buildings, or lot configuration such that strict application of the zone district requirements from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of the property in question; or
4. That such exceptional situation or condition was not induced by any action of the applicant and is not a general condition throughout the zone district.

FINDINGS FOR ZONING VARIANCE

Staff cannot make a positive recommendation on findings for a zoning variance necessary for the proposed signage. If the word “Dispensary” were to be removed and the size of the lettering for “Tumbleweed” reduced, we can re-evaluate to see how close we come to the standards.

STAFF RECOMMENDATION

Staff recommends approval of file number DR16-04 with the following conditions:

1. Town Engineer review and approval of design of the sidewalk and the extension of the water main.
2. Add additional landscaping between I-70 and the building to buffer the view of the loading dock and between Chambers Avenue and the parking lot to better screen the parking lot. Trees, ornamental grasses and bushes are appropriate plant materials for screening of the parking area.
3. Add a window on the north elevation to improve the image of the building from I-70.
4. Provide Staff with a lighting plan for the proposed building that is in compliance with the Town’s lighting standards.

PLANNING & ZONING COMMISSION

1. Questions of Staff and/or Applicant
2. Public Comment
3. Deliberations

Eagle County GIS Web Map

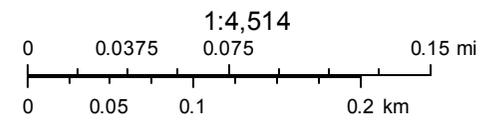


September 1, 2016

Lines

 Override 1

Parcels



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community



maggie t. fitzgerald, aia

P.O. Box 1328 Eagle, Colorado 81631
maggiearchitect.com
maggieTfitz@gmail.com
970.445.0486

August 25, 2016

Town of Eagle
Community Development
200 Broadway
PO Box 609 Eagle, Colorado 81631
970.328.9655

Tom Boni,

Attached is our Land Use & Development Permit Application for 1130 Chambers, Lot C-12B. The required fee of \$700 is being mailed by Mark Smith, applicant.

Our intent is to build a one story, 4,136 SF building on the existing vacant one acre lot. The building will house retail, Tumbleweed Dispensary retail marijuana store. And to the North end of the lot we plan to build a dog park. Water service is provided by the Town of Eagle, rights were dedicated when property was annexed.

Parking is more than adequate and dispersed in the front and back of the building. Shrubs and ornamental grasses are located around the spaces against the street to screen parked vehicles.

A Design Variance is required for the loading area. The Lot is narrow, 95' wide by 458' deep. There is not room for services, deliveries, & loading on the side of the building. We have located it on the back, North side, facing I-70. We believe it creates minimal impact on "the entry to Eagle" as is located 283' from the North property

line and a bit further more from I-70. We plan to mitigate the view of this elevation with landscape screening.

The building design is a western and mountain style vernacular with a board and batten exterior. We believe we reduce monolithic massing with an exterior boardwalk covered by a shed roof on the two primary elevations. This breaks the massing with a strong horizontal element and is also a reference to western mountain architecture.

A variance will also be required for signage. The square footage of signage desired is more than 30sf.

Finally, we are planning to construct a sidewalk along Chambers within the right of way as a development improvement.

Thank you for your consideration.

Sincerely,

Maggie T Fitzgerald

Maggie Fitzgerald, AIA



TOWN OF EAGLE
 COMMUNITY DEVELOPMENT
 200 BROADWAY • PO BOX 609 • EAGLE, CO 81631
 PHONE: 970-328-9655 • FAX: 970-328-9656
 www.townofeagle.org

LAND USE & DEVELOPMENT PERMIT APPLICATION

Pursuant to the Land Use & Development Code, Title 4

<p>ZONING REVIEW</p> <input type="checkbox"/> Special Use Permit <input type="checkbox"/> Zoning Variance <input type="checkbox"/> Rezoning <input type="checkbox"/> Temporary Use Permit <input type="checkbox"/> Amendment to Zone District Regulations	<p>DEVELOPMENT REVIEW</p> <input type="checkbox"/> Minor Development Review <input type="checkbox"/> Major Development Review	<p>SUBDIVISION OR PLANNED UNIT DEVELOPMENT REVIEW</p> <input type="checkbox"/> Concept Plan <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Lot Line Adjustment <input type="checkbox"/> Condominium / Townhouse <input type="checkbox"/> Minor Subdivision <input type="checkbox"/> P.U.D. Zoning Plan
--	---	---

PROJECT NAME Tumbleweed Dispensary
 PRESENT ZONE DISTRICT Commercial General PROPOSED ZONE DISTRICT _____
 (if applicable)

LOCATION
 STREET ADDRESS 1130 Chambers Ave Lot C-12B
 PROPERTY DESCRIPTION VACANT LOT
 SUBDIVISION _____ LOT(S) _____ BLOCK _____
 (attach legal description if not part of a subdivision)

DESCRIPTION / PURPOSE To develop the existing vacant 1 acre lot, 4,136 SF Building for Retail with a dog park to the North.

APPLICANT NAME Mark Smith PHONE 612-963-1820
 ADDRESS _____ EMAIL austinenergygroup@gmail.com
 OWNER OF RECORD Richard Thal PHONE 561-289-6006
 ADDRESS _____ EMAIL rthal@thal.org.com
 REPRESENTATIVE Maggie Fitzgerald PHONE 970-445-0486
 ADDRESS PO Box 1328 Eagle CO 81631 EMAIL maggiefitz@gmail.com

The above information is correct and accurate to the best of my knowledge.

Signature Maggie K Date 8-25-2016

In addition to the Application Fee payable at time of Land Use Application, costs related to public notices, postage, Town Attorney Fees and any related outside consultant fees required to review the application shall be billed to the applicant.

FOR OFFICE USE ONLY		
DATE RECEIVED _____	BY _____	FILE NUMBER _____
REVIEW FEE _____	DATE PAID _____	RECEIVED BY _____
DATE CERTIFIED COMPLETE _____	BY _____	
P&Z HEARING DATE _____	DECISION _____	
TBOT HEARING DATE _____	DECISION _____	

Tumbleweed- ILB Partners II

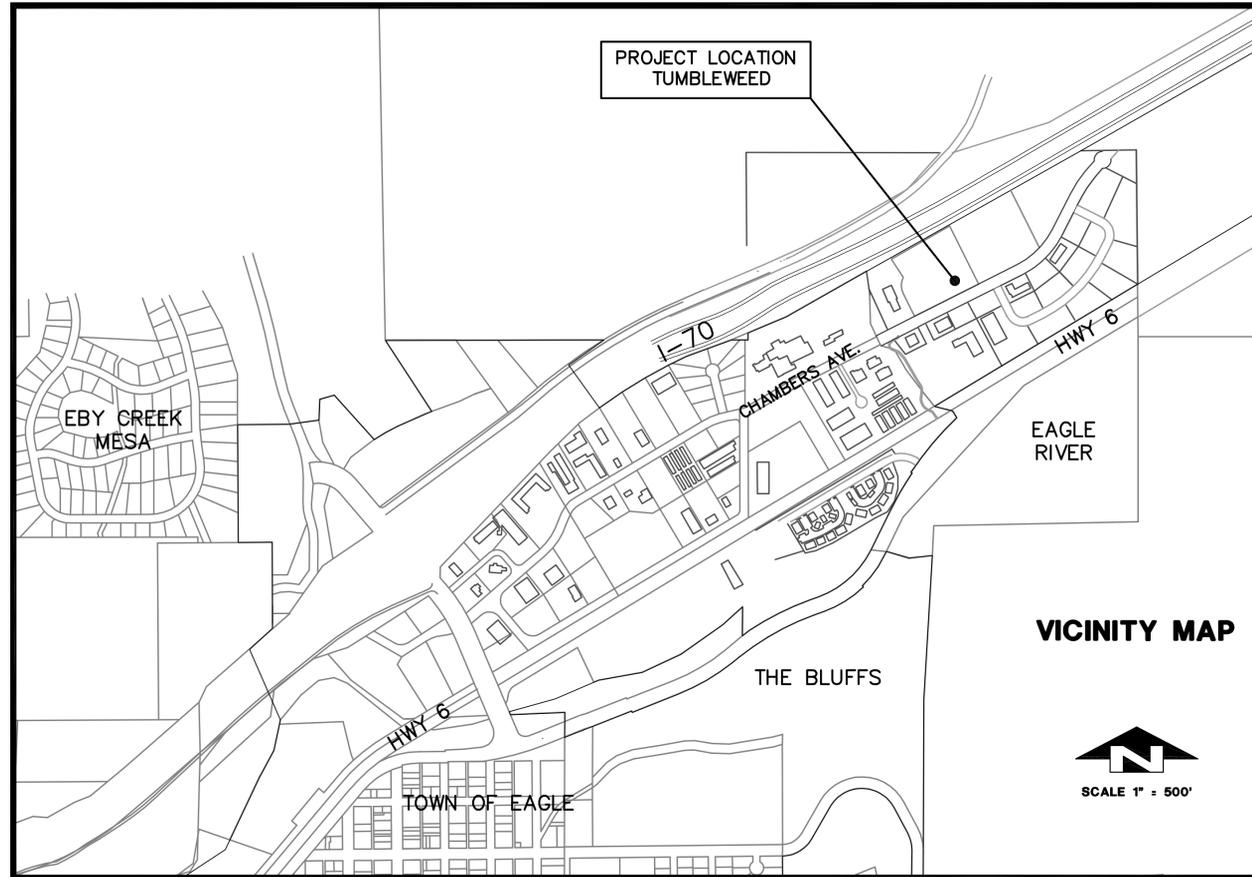
EAGLE, COLORADO
AUGUST 2016

GENERAL NOTES

- The Contractor shall notify Alpine Engineering, Inc., Owner and Town of Eagle Engineering Dept. at least 48 hours prior to any construction. The Contractor shall coordinate all work with Alpine Engineering, Inc. and Owner.
- Alpine Engineering, Inc., assumes no responsibility for utility locations. It is the Contractor's responsibility to field verify the location of all utilities prior to commencement of any construction.
- The Contractor shall conform to all Town of Eagle rules, regulations and stipulations while accessing through or working in the Town.
- The Contractor shall take all appropriate precautions to significantly reduce any potential pollution caused by his activities, including vehicle fueling, storage of fertilizers or chemicals, etc. The Contractor shall have identified procedures for handling potential pollutants and have identified spill prevention and response procedures prior to any activities at the project site.
- The Contractor shall keep 2 sets of contract drawings marked up to fully indicate asbuilt conditions. The drawings shall be provided to the Owner and Alpine Engineering, Inc. upon completion of this work. Contractor is to provide at least three ties from physical monuments to all fittings, valves, hydrants, curb stops, air vac valves, p/v's, manholes, and services. The Town regulations require a description of all materials and appurtenances to be included in the asbuilts.
- The Contractor shall maintain traffic at all times to the satisfaction of the Owner and the Town of Eagle. The Contractor shall minimize traffic disruptions and provide adequate safety precautions to ensure public safety.
- Safety is the responsibility of the Contractor. The Engineer is not responsible for safety in, on, or about the project site, nor for compliance by the appropriate party with any regulations relating hereto.
- It is the Contractor's responsibility to obtain (and conform to) all proper construction permits including a road cut permit for work within the public right of way.
- The Owner will designate staging areas.
- The Contractor shall minimize all off site tracking. All soil tracked off site shall be immediately cleaned up to the satisfaction of The Town of Eagle and The Owner.
- If any groundwater is encountered the Contractor shall contact Owner, Alpine Engineering, Inc., and the Project Geotechnical Engineer immediately.
- The Contractor shall protect and preserve all trees, bushes, shrubs, and ground cover in a manner acceptable to The Owner.
- Observations of the work in progress and on-site visits are not to be construed as a guarantee or warranty by the Engineer of the Contractor's contractual responsibilities.
- All materials and workmanship shall be subject to inspection by the Town and/or their representatives, and Alpine Engineering, Inc. The Town reserves the right to accept or reject any such materials and workmanship that do not conform to the approved drawings and/or district standards or specifications.
- All construction shall conform to town standards and specifications and be subject to construction observation by their representatives. Copies of town standards must be obtained by the Contractor. Contractor shall have one (1) copy of the plans and one (1) copy of the appropriate specifications on the job site at all times.
- Street closures shall be kept to a minimum length of time. There shall be no material storage on Town Streets or property.
- It is the Contractor's responsibility to prepare and submit a Traffic Control Plan, as a requirement of the Town of Eagle's Road Out Permit, and submit to the Town's Engineer prior to construction. The plan shall show existing and proposed traffic signs, existing and proposed crosswalk striping, construction limits, fencing and access, and vehicle tracking control measures.
- Contractor shall conform to all recommendations in the preliminary subsol study prepared by HP Geotech (Report # 106 0011, December 19, 2005)
- The Contractor shall conform to the Technical Specifications

UTILITY NOTES

- The Contractor is warned that conflicts with existing utility services may exist. Prior to beginning any construction, the Contractor shall contact all appropriate utility companies for line locations. The Contractor shall then locate all utilities (including depth). Any conflicts with the proposed construction shall be brought to the attention of the Engineer so that line or grade changes can be made to eliminate any conflicts with these existing utilities. All existing utilities shall be protected from damage by the Contractor. Damaged utilities shall be repaired by the Contractor at no expense to the Owner.
- All construction activities and excavating for utility trenches shall meet OSHA requirements.
- All Water System and Sanitary Sewer System construction shall conform to Town of Eagle standard specifications.
- All water mains and services shall have a minimum cover of 6 feet.
- Provide 10 feet minimum horizontal separation between water and sewer mains and services or encase per Colorado Department of Health requirements.
- The Contractor shall mark all service line ends as shown on the details.
- The Contractor shall provide thrust blocks and megalug restraints at all bends and tees. Angles of water line bends are shown only as a guideline; all bends have not been identified or dimensioned, and additional bends may be required during construction. Vertical bends are not shown but may be required to maintain minimum cover.
- Water service lines to be Type K Copper or Class 52 DIP with size per plan, a curb stop shall be installed for each service at the property line or edge of easement or as shown on the plans.
- The Contractor shall verify existing pipe or manhole inverts at tie in points prior to construction.
- The Contractor shall lay 10 gauge insulated copper trace wire along the water lines, (see detail sheet), and ductile iron water pipe shall be cad-welded charge size of CA-45. The Contractor shall test the pipe and the tracer wire to confirm conductivity prior to acceptance. The Contractor shall field install polyethylene wrap on all water lines (see detail sheet).
- The Contractor shall test all water mains in accordance with Town standard specifications, tests to include pressure test, chlorine test, bacteria test and leakage test.
- The Contractor shall attend a mandatory preconstruction meeting with the Town of Eagle Engineering Dept. and Alpine Engineering, Inc. prior to the start of construction.
- All sewer lines shall have a minimum of 4.5 feet of cover.
- The Contractor shall test all sewer mains in accordance with Town standard specifications, tests to include low pressure air test, manhole vacuum test, and television test.
- The Contractor shall have water running in sewer lines during the t.v. recording process and cut sheet format shall conform to Town standard specifications.
- The Contractor is responsible for coordinating, conducting and scheduling for the testing of all utilities and obtaining approval and acceptance from all utility companies.
- To maintain adequate skin friction on existing water mains during construction, the Contractor shall valve off stubs and deplete the pressure prior to excavation for extending water main stubs. The Contractor shall also go 10 feet minimum from the main cross tee before beginning the excavation trench. The excavation trench shall be a maximum of 1.5 : 1 slope.
- The Contractor may need to perform hydraulic testing and disinfection of existing waterlines as part of the testing and acceptance procedure for the proposed waterline.
- Compaction of all trenches and bedding must be attained as per specifications.
- PHONE\CATV: All phone and cable TV conduits, pedestals and appurtenances shall be installed in accordance with CenturyLink's design specifications and shall be reviewed and accepted by CenturyLink.
- If Water lines cross within 18" (vertical) of sewer lines, or if water lines are beneath sewer lines, the contractor shall use C900 pipe for the sewer line. A stick of C900 sewer lines shall be centered on the water line.
- All shallow utility conduit shall be Schedule 40 unless noted otherwise.



GRADING AND DRAINAGE NOTES

- Curb and Gutters shall be installed in such a manner as to insure positive drainage in all areas, as shown.
- Direct downspout drainage away from building foundation or to storm per Geotechnical Engineer.
- Grading adjacent to buildings shall be at a slope away from the building of 12" in 10' per the geotechnical report.
- The Contractor shall maintain existing drainage channels, culverts, and appurtenances during construction as necessary to protect roads and property.
- The Contractor shall remove all topsoil and man placed fill prior to commencement of construction per the geotechnical report.
- Proof roll all hardscape areas prior to installing basecourse and pavement.

SHEET INDEX

COVER SHEET	C.01
GRADING PLAN	C.02
UTILITY PLAN	C.03
DETAILS	C.04-C.05
FIRE STAGING / TURNING MOVEMENTS	C.06

PROJECT CONTACTS

DEVELOPER: TUMBLEWEED EAGLE, LLC	MARK SMITH	(970) 331-6907
ARCHITECT	MAGGIE FITZGERALD	(970) 445-0486
TOWN OF EAGLE, ENGINEERING	KEVIN SHARKEY	(970) 328-6678
TOWN OF EAGLE, PUBLIC WORKS	DUSTY WALLS	(970) 328-6678
SOURCE GAS	TODD ELLSWORTH	(970) 309-2722
HOLY CROSS ENERGY (ELECTRIC)	KEITH HERNANDEZ	(970) 947-5439
CENTURY LINK (PHONE\CATV)	JASON SHARPE	(970) 328-8288
CIVIL ENGINEER, ALPINE ENGINEERING INC.	MATT WADEY	(970) 926-3373
GEOTECHNICAL ENGINEER, HP-GEOTECH	DAVE YOUNG	(970) 945-7988
LAND SURVEYOR, STARBUCK SURVEYORS	RICHARD BORDEN	(970) 328-7208

PRELIMINARY PLAN
August 23, 2016
NOT FOR CONSTRUCTION

HOLY CROSS ENERGY CONSTRUCTION SPECIFICATIONS

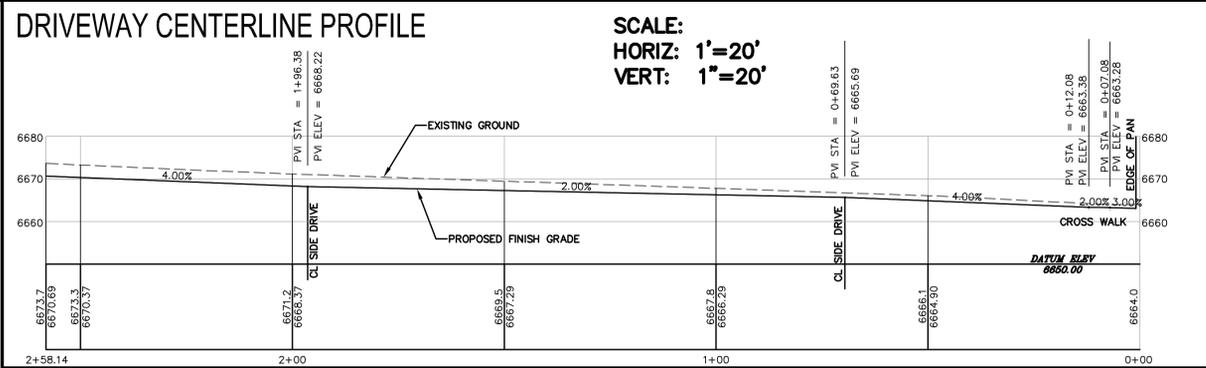
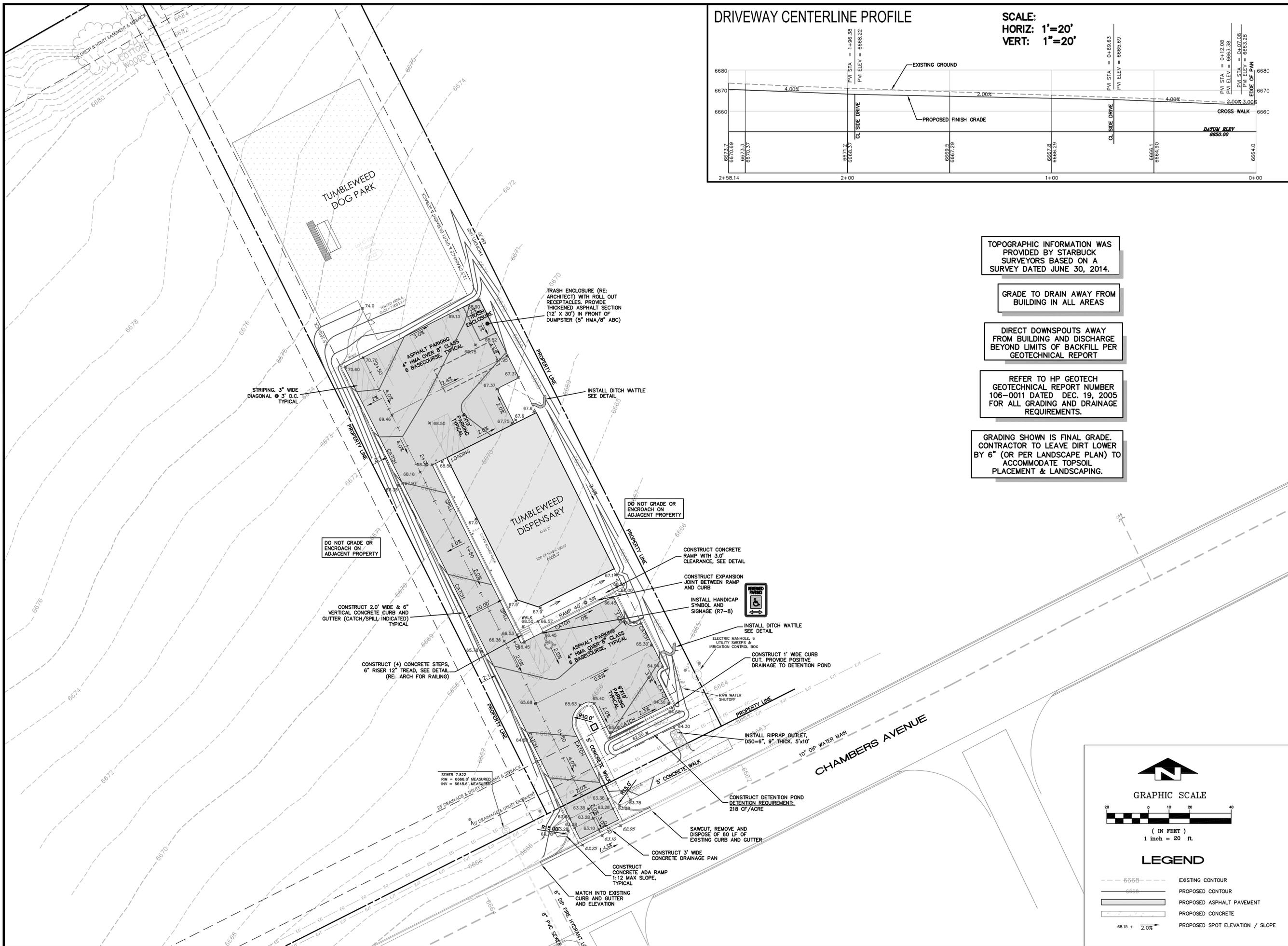
I. TRENCH AND CONDUIT

- The developer or contractor will contact Holy Cross Energy before conduit and vault installation begins to schedule a pre-construction meeting with the project inspector.
- Changes in power facility construction from that shown on the project plans will not be made without advance approval from the Holy Cross Energy inspector.
- Holy Cross Energy material shall not be moved from the project to which it was assigned without the advance approval of the inspector and the completion of necessary paperwork. Holy Cross Energy material shall not be installed for any use other than construction of power facilities.
- All roads will be built to subgrade and all drainages will be constructed to grade before any vaults or conduits are installed.
- All trench will be excavated deep enough to ensure that the top of installed power facilities will be 48" below final grade. Special care must be taken to insure that the top of conduits will be 48" below the bottom of drainage ditches and all other low areas.
- Trench will be as straight as possible between vaults and shall have a smooth bottom free from low and high spots. Six inches of road base will be placed the entire length of the trench and well compacted prior to conduit installation. When placed in the trench, the conduit shall be in continuous contact with the compacted road base with no hold down weight added. Twelve inches of road base, as measured from the top of the conduit, will be placed on the conduit and well compacted prior to returning any native backfill to the trench. Large rocks shall not be placed directly on the road base layer. Care must be taken to avoid conduit damage during backfill and compaction; conduits found to be unusable at the time of power cable installation will be repaired by the developer or contractor before power can be made available.
- Power facilities to be placed parallel to deeper utilities will have a horizontal separation from the deeper utility greater than the depth of such utility below final grade less four feet (see attached drawing). When crossing a deeper utility is unavoidable, the crossing will be made as close to perpendicular as possible.
- Power line conduits will be installed with a minimum separation of 12" from all other new or existing underground utility lines. Wherever possible, this separation will be horizontal. The power line separation from plastic gas lines will be greater than this minimum wherever practicable. Power line conduits will be located deeper in the trench than the facilities of all other utilities unless the inspector grants a waiver prior to the start of construction.
- Backfill and compaction above the road base layer will be as required by the governmental entity or other party having jurisdiction.
- Conduit ball ends will not be allowed in the vaults. Holy Cross Energy will supply factory couplers, 90°, 45°, and 22 1/2° elbows as needed for job. Non-factory bends and heated bends will not be allowed. No more than two 90° elbows will be allowed in a conduit run of 500 feet. The conduit shall run straight between factory bends. Allowed bends must be further than 5' from a vault. Factory elbows supplied must be used intact; they cannot be cut to make a lesser bend. Bells will not be cut off conduit sticks to use as couplers. Holy Cross Energy elbows and pipe will be used only for the power facility installation.
- The conduit will not be backfilled without the Holy Cross Energy inspector seeing all joints unless the inspector gives prior permission. All joints shall be completely sealed to the line marked on the male end of the conduit after sufficient glue is applied to both conduits being joined, even in areas where the trench cannot be excavated completely straight. Glue in the joint shall be allowed to completely dry prior to any stress being applied to the conduit on either side of the joint. Trench backfilled without the inspector viewing each joint or giving prior permission to cover the conduit will be re-excavated to expose the conduit, or the contractor will put a camera through each conduit in the span which was prematurely backfilled to verify the joint seating and conduit condition. The camera verification will be witnessed by the Holy Cross Energy inspector.
- Individual conduits shall enter each vault at a consistent location. There is to be no crossing of conduits in the trench.
- Both ends of a conduit run shall be securely plugged at the time of installation with Holy Cross Energy supplied material. Conduit ending outside a vault shall be marked with 4" x 4" post or other approved method.
- Red trench marking tape will be supplied by Holy Cross Energy and shall be installed 18" to 24" above the conduit during backfill.
- At completion of the job, the inspector will do a final inspection. If the job does not meet with Holy Cross Energy's specifications or the approval of inspector, service will not be provided until specifications are met.

II. VAULTS

- Vaults shall be installed as follows:
 - Splice vaults shall be installed with the manhole lid grade being slightly above final grade of the surrounding area, except when the vault is in a roadway, the manhole lid grade shall match the grade of the finished roadway surface.
 - Splice vaults located in roads or other sloped areas will be installed so that the concrete base and lid are at the slope of the surrounding area. Vaults placed in roads will not be located in areas normally traversed by vehicle wheels. The inspector must approve all vaults installed at a slope.
 - Transformer vaults and switchgear vaults will be installed with the bottom of the lid at final grade. The lid will be level.
 - Where transformer and switchgear vaults are set into hillsides or sloped cuts, the downhill side of the vault will be graded according to C above. The slope behind the vault will be laid back sufficiently to prohibit soil or rocks from sloughing onto the vault. If the slope cannot be laid back far enough, a retaining wall shall be constructed behind the vault at the direction of the inspector.
 - All vault pads will be placed on the vaults at the time of vault installation to protect the public and wildlife, unless otherwise instructed by the inspector. The holes through transformer and switchgear pads will be covered at the time of vault installation with concrete pieces supplied by Holy Cross Energy, unless otherwise instructed by the inspector.
 - Large vault pieces shall be jointed with a tar type sealant provided by Holy Cross Energy, with the exception of the vault lid, at the direction of the inspector.
- Holes knocked in vaults for conduit installation shall be as small as possible and shall be grouted closed on the outside of the vault prior to backfill.
- Conduit shall enter vaults perpendicular to the vault wall, at least 2" from any adjacent walls and at least 2" above the vault base. There shall be a minimum separation of 1" between conduits. See vault drawings.
- Conduit will extend 4" into the vault (measured from the inside wall of the vault) after backfilling is complete.
- Ground rods in vaults for underground cable installation shall be laid in the trench with the conduits. The end of the rod shall extend approximately 6" into the vault through the conduit knockout. The rod will have a 45° bend located approximately 3" from the vault end, with the bend going away from the conduit. The bent end of the rod must be far enough from the vault wall to allow crimping the grounding conductor onto the rod. The rod must be at least 2" from the conduit at its entrance into the vault. See vault drawings.
- After the vault has been set, pipes extended in and grouted and the ground rod is in place, vaults shall be swept out removing all dirt or rocks. Cleanup shall be completed to the satisfaction of the inspector prior to cable installation being scheduled.
- Pedestals for other utilities shall not be located closer than 10' to a vault on sides where transformers or switchgear will have access doors. Pedestals shall not be located closer than 5' to a vault on sides where the pad-mounted equipment will not have access doors.

NO.	DATE	REVISIONS	BY
	08/24/2016	DEVELOPMENT PERMIT	MCW
DESIGNED	MCW		
DRAWN	MCW		
CHECKED	GLB		
JOB NO.	79250		
DATE	08/16/2016		



TOPOGRAPHIC INFORMATION WAS PROVIDED BY STARBUCK SURVEYORS BASED ON A SURVEY DATED JUNE 30, 2014.

GRADE TO DRAIN AWAY FROM BUILDING IN ALL AREAS

DIRECT DOWNSPOUTS AWAY FROM BUILDING AND DISCHARGE BEYOND LIMITS OF BACKFILL PER GEOTECHNICAL REPORT

REFER TO HP GEOTECH GEOTECHNICAL REPORT NUMBER 106-0011 DATED DEC. 19, 2005 FOR ALL GRADING AND DRAINAGE REQUIREMENTS.

GRADING SHOWN IS FINAL GRADE. CONTRACTOR TO LEAVE DIRT LOWER BY 6" (OR PER LANDSCAPE PLAN) TO ACCOMMODATE TOPSOIL PLACEMENT & LANDSCAPING.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

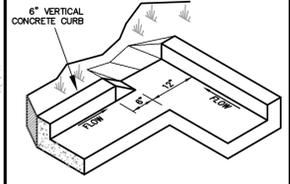
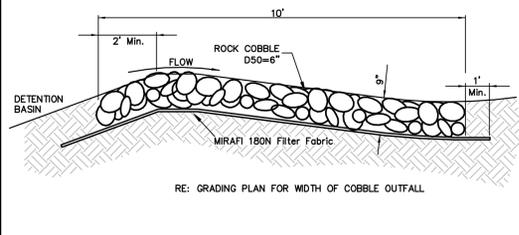
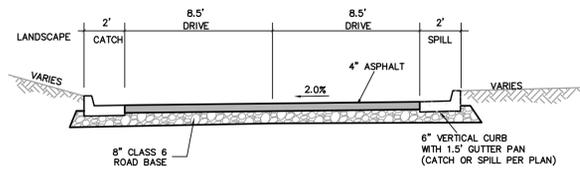
LEGEND

- - - 6668 - - - EXISTING CONTOUR
- - - 6669 - - - PROPOSED CONTOUR
- ▬▬▬ PROPOSED ASPHALT PAVEMENT
- ▬▬▬ PROPOSED CONCRETE
- 68.15 + 2.0% PROPOSED SPOT ELEVATION / SLOPE

TUMBLEWEED
 EAGLE, CO
 GRADING PLAN

NO.	DATE	REVISIONS	BY
	08/24/2016	DEVELOPMENT PERMIT	MCW
DESIGNED	MCW		
DRAWN	MCW		
CHECKED	GLB		
JOB NO.	79250		
DATE	08/16/2016		

© Eagle/ALPINE Tumbleweed - 2016/DWG Master Grading.dwg, 8/23/2016 2:54:50 PM, Wadley

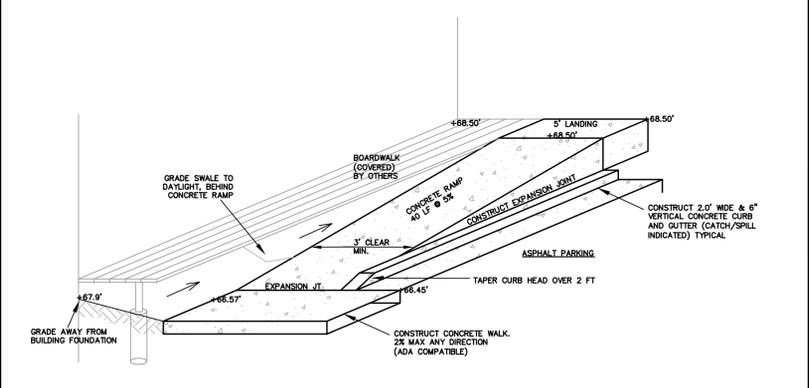
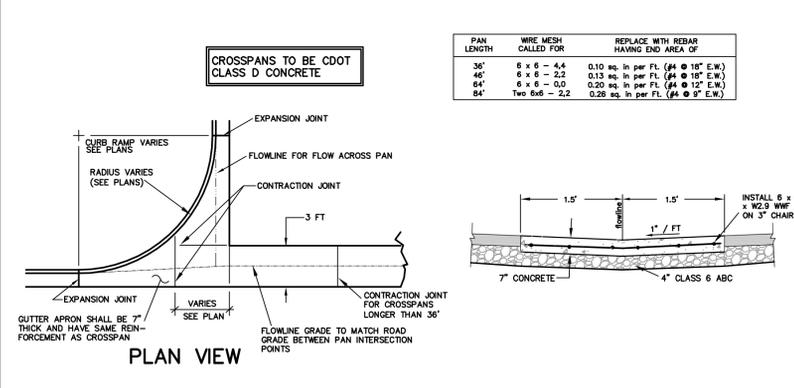
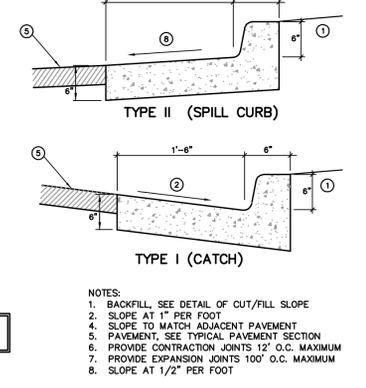
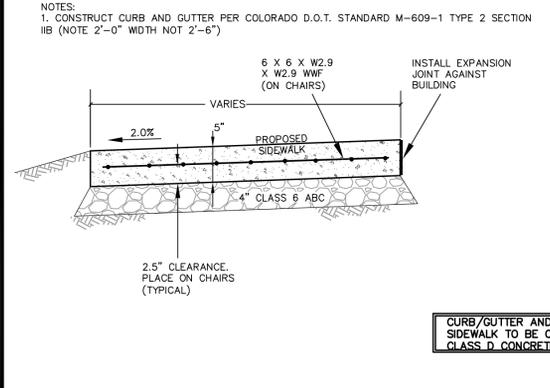


A PAVEMENT SECTION (TYPICAL)

B CONCRETE JOINT DETAILS

C COBBLE DETENTION OUTFALL

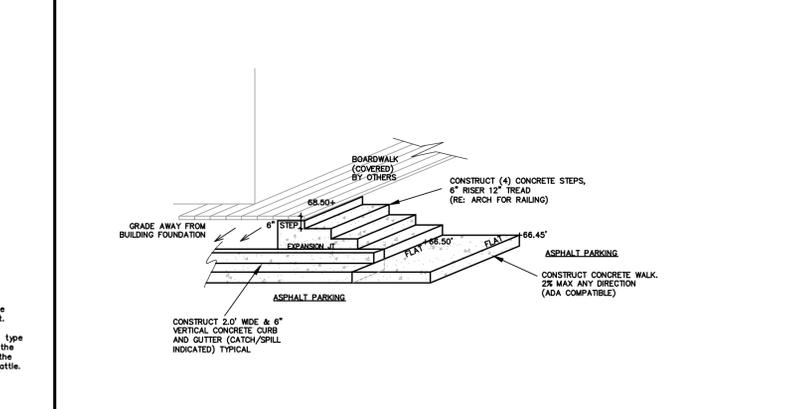
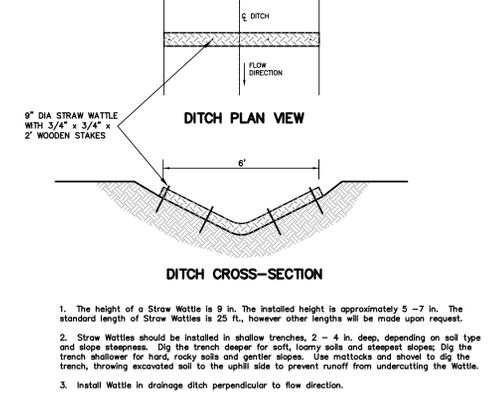
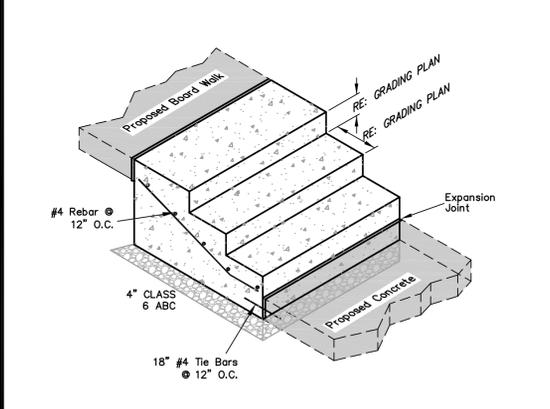
D CURB CUT



E 6\"/>

F CROSSSPAN DETAIL

I CONCRETE RAMP



G CONCRETE STAIRS

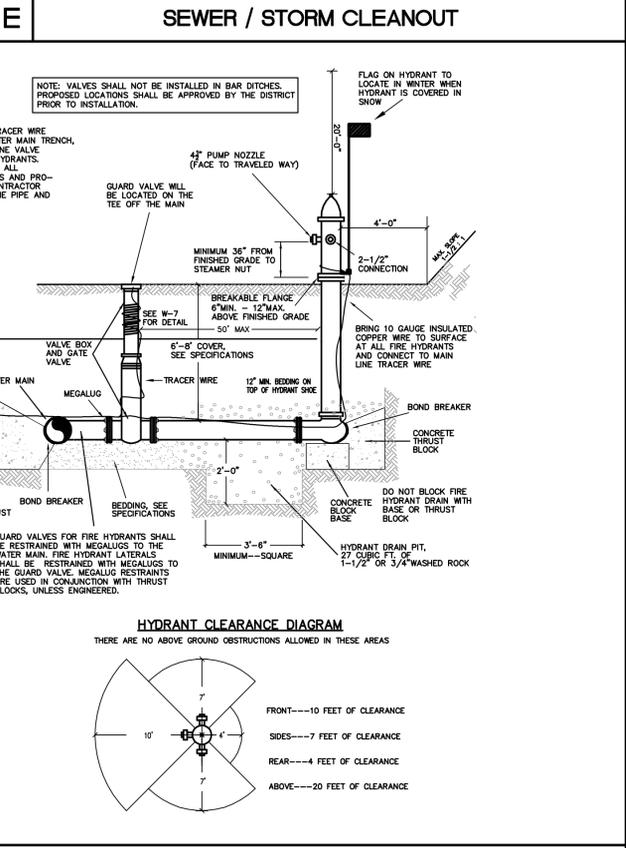
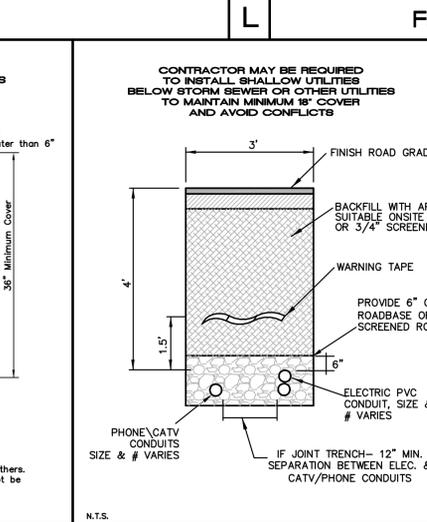
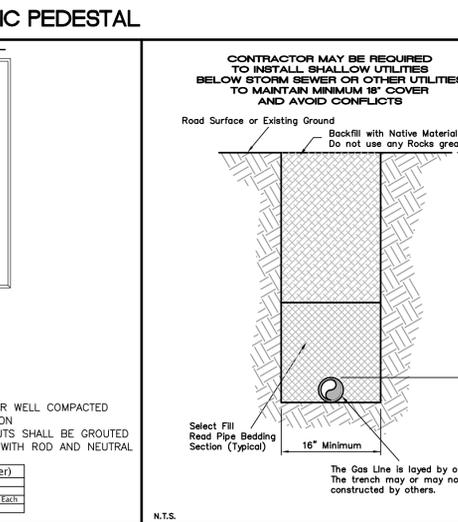
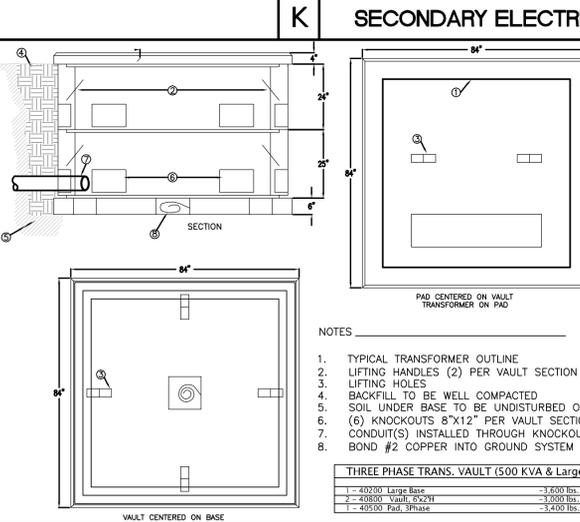
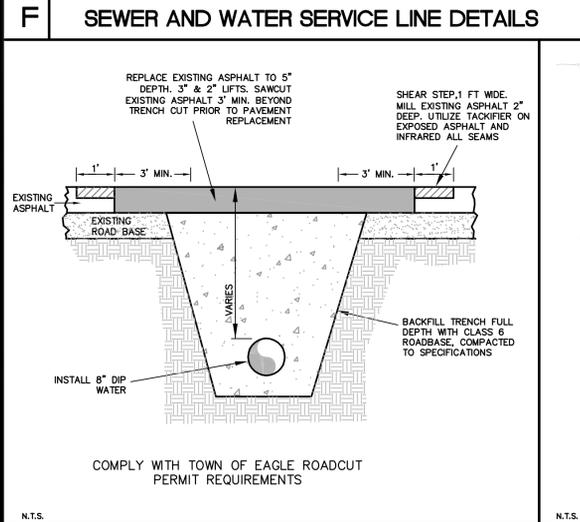
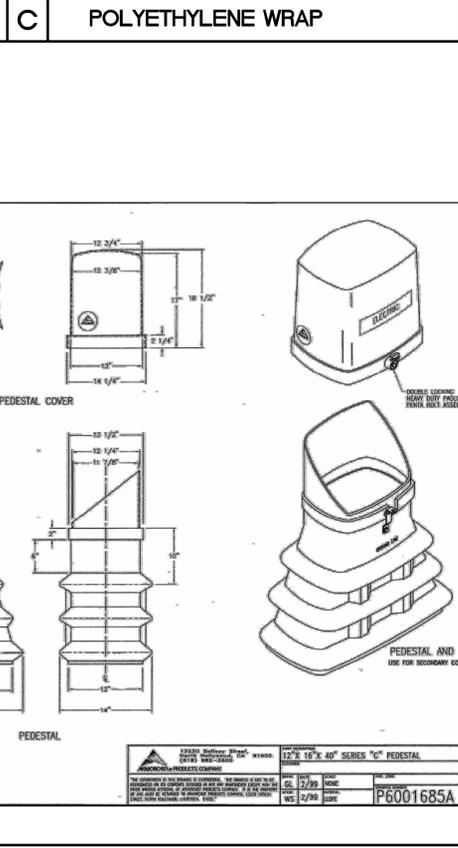
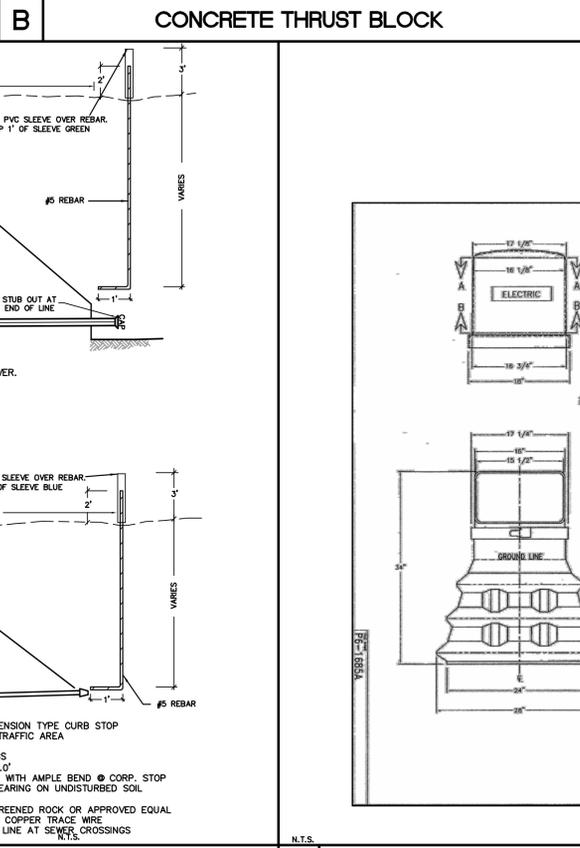
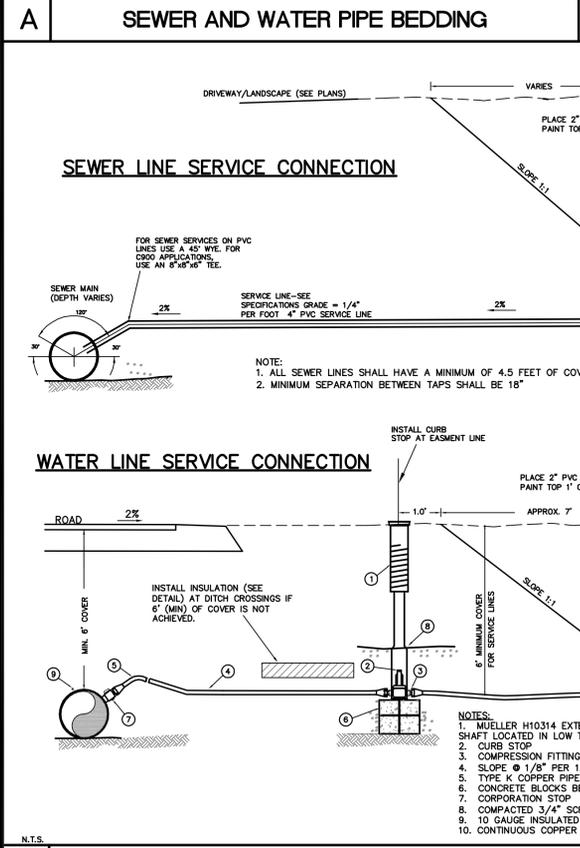
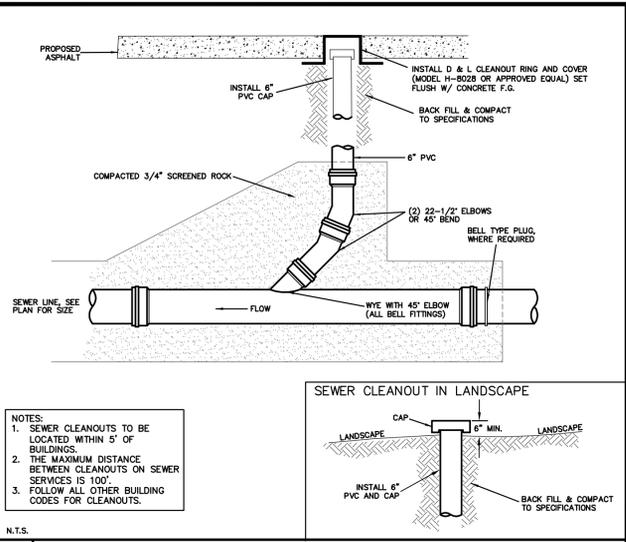
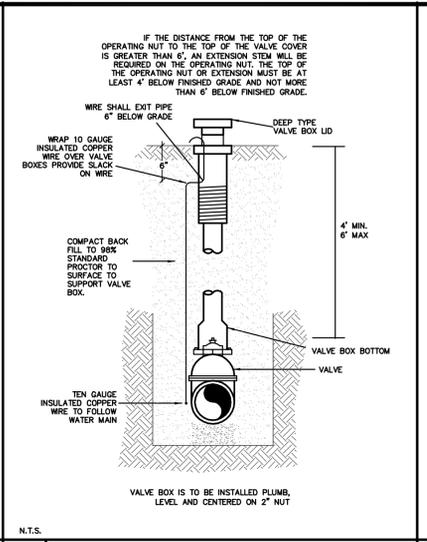
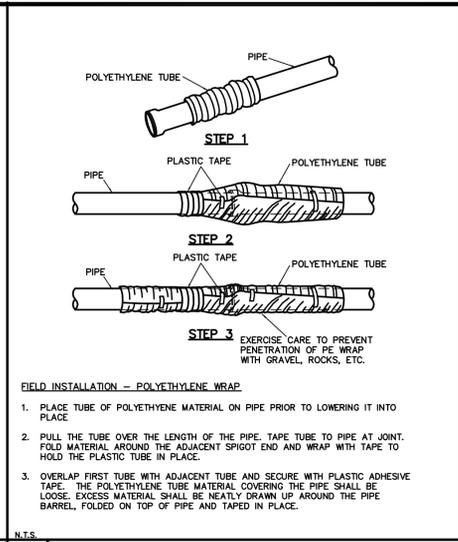
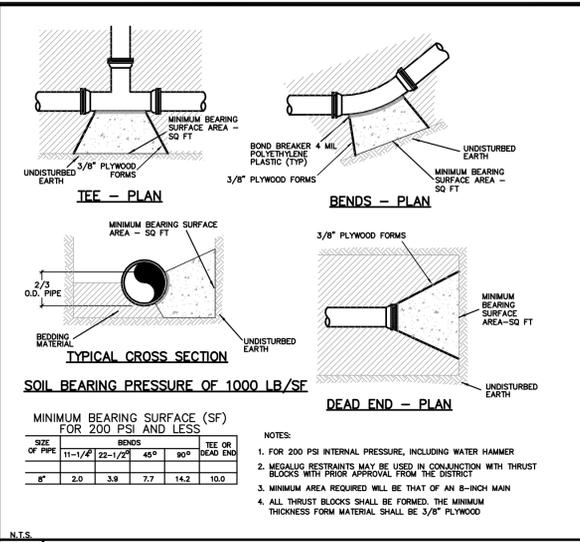
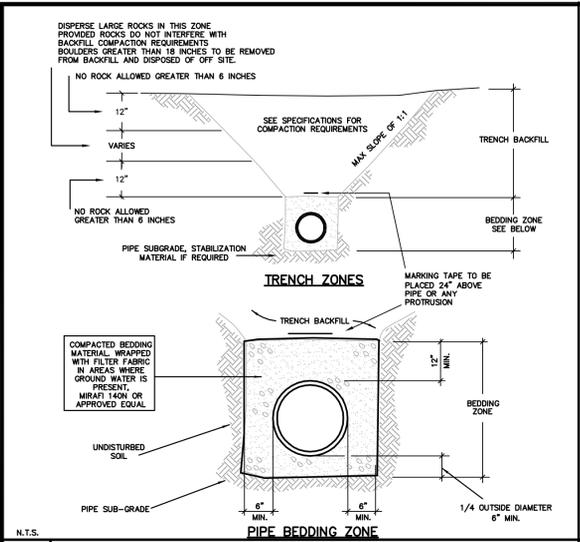
H DITCH WATTLE

J CONCRETE STAIRS

DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	GLB	79250	08/16/2016

NO.	DATE	REVISIONS	BY
	08/24/2016	DEVELOPMENT PERMIT	MCW

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NO.	DATE	REVISIONS	BY
	08/24/2016	DEVELOPMENT PERMIT	MCW
DESIGNED	MCW		
DRAWN	MCW		
CHECKED	GLB		
JOB NO.	79250		
DATE	08/16/2016		

SHEET C.05

Plant Schedule

Symbol	Common Name	Scientific Name	Flower	Growth Height/Spread	Exposure	Count	Size	
	Colorado Spruce	XXXX	None	25'/15'	Sun/Filtered Shade	7	6' Ht.	Trees
	Flowering Crabapple	Malus sp. 'Dolga'	Pink	15'/20'	Sun	1	2" Cal.	
	Quaking Aspen	Populus tremuloides	None	35'/25'	Sun	9	2" Cal.	
	Native Yellow Potentilla	Potentilla fruticosa	Yellow	2'/2'	Sun	9	5 Gal.	Shrubs
	Redtwig Dogwood	Cornus stolonifera 'Bailey'	White	8'/8'	Adaptable	8	7 Gal.	
	Silver Sagebrush	Artemisia cana	Insignificant	3-6'/3'	Sun	3	5 Gal.	
	Utah False Spirea	Sorbaria sorbifolia	White	5'/7'	Sun/Filtered Shade	5	5 Gal.	
	Mixed Perennials						1 Gal., 18" o.c.	Grasses and Groundcovers
	Gravel Cobble						Sq. Ft.	
	Gravel Cobble/or Bark Mulch at beds, drip edge, Owner preference, verify						Sq. Ft.	
	Native Grass Mix to Match Existing Grasses, Irrigated & Maintained						All Disturbed Areas	

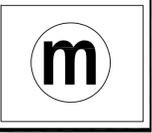
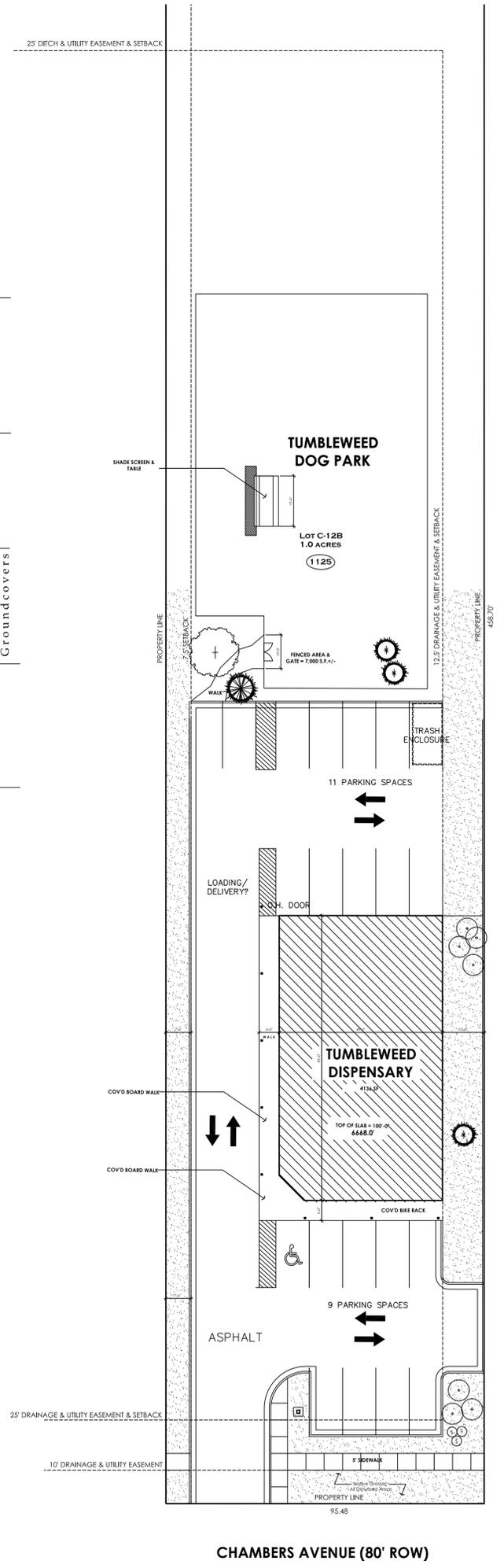
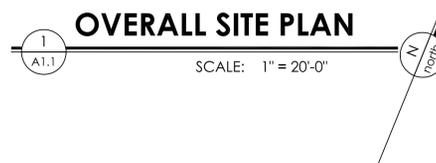
Irrigation Chart

Total Irrigated Area: Drip Irrigation s.f., Re-Veg areas s.f.

3,997 Re-Veg s.f. & 1,476 Drip s.f.
 3,997 * 1 = 3,997
 1,476 * 0.6 = 886

Exterior Lighting

- EXTERIOR WALL MOUNTED SCENE LIGHT
- DIRECTED SPOT LIGHT & SIGNAGE
- STREET LIGHT
- WEATHER-PROOF OUTLET
- RECESSED CAN LIGHT



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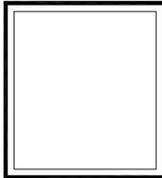
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 EAGLE, CO 81631

ISSUE:	SCHMATIC DESIGN
DATE:	8-22-2016

A1.1
 OVERALL SITE PLAN



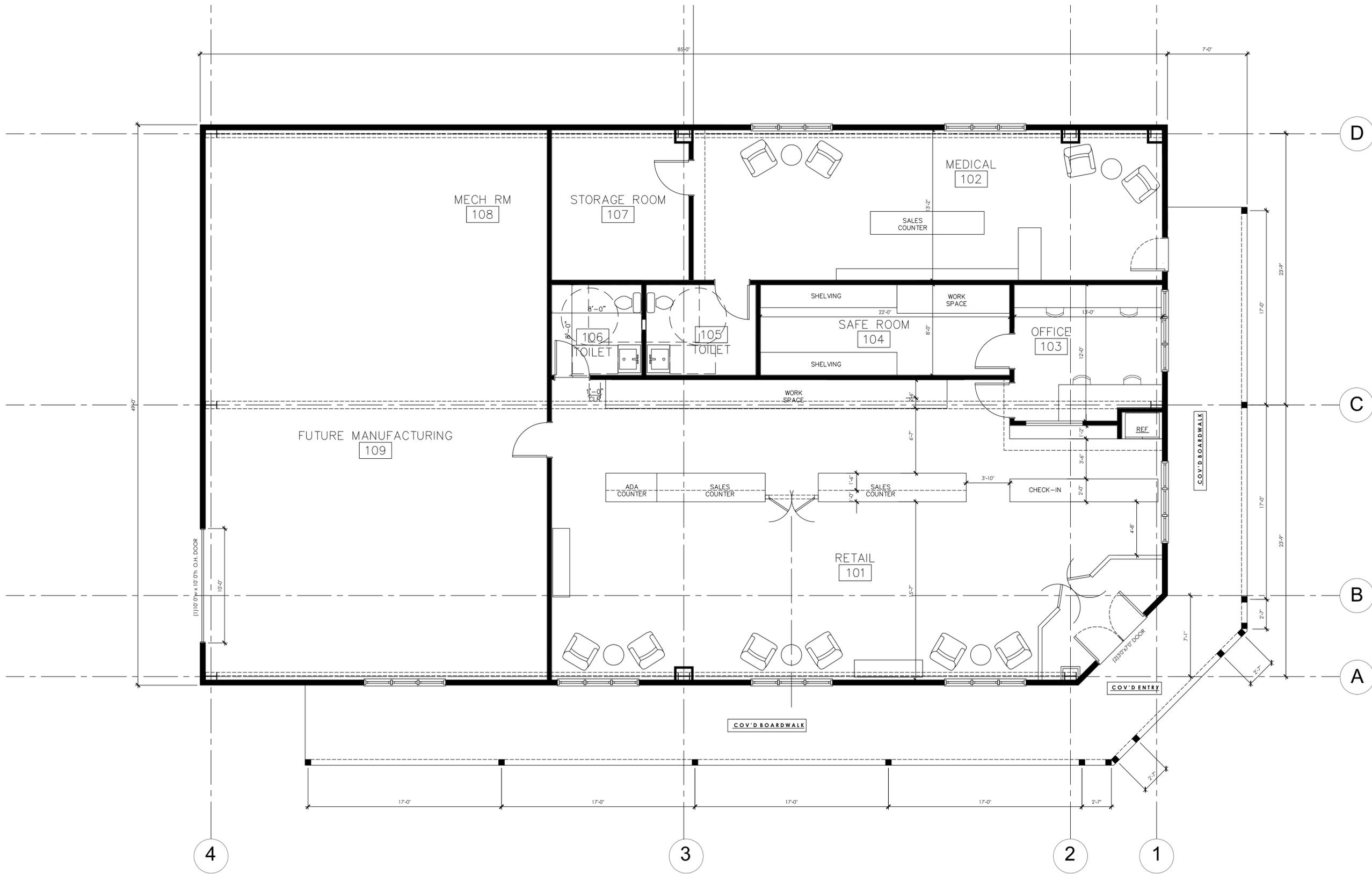
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A2.2
 MAIN LEVEL FLOOR PLAN



TUMBLEWEED DISPENSARY

4136 SF

TOP OF SLAB = 100'-0"
 6668.0'

MAIN LEVEL FLOOR PLAN

1
 A2.2

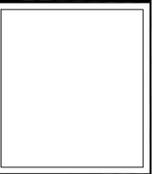
SCALE: 1/4" = 1'-0"

S.F. CALC'S

4,136 FINISHED SQUARE FOOTAGE



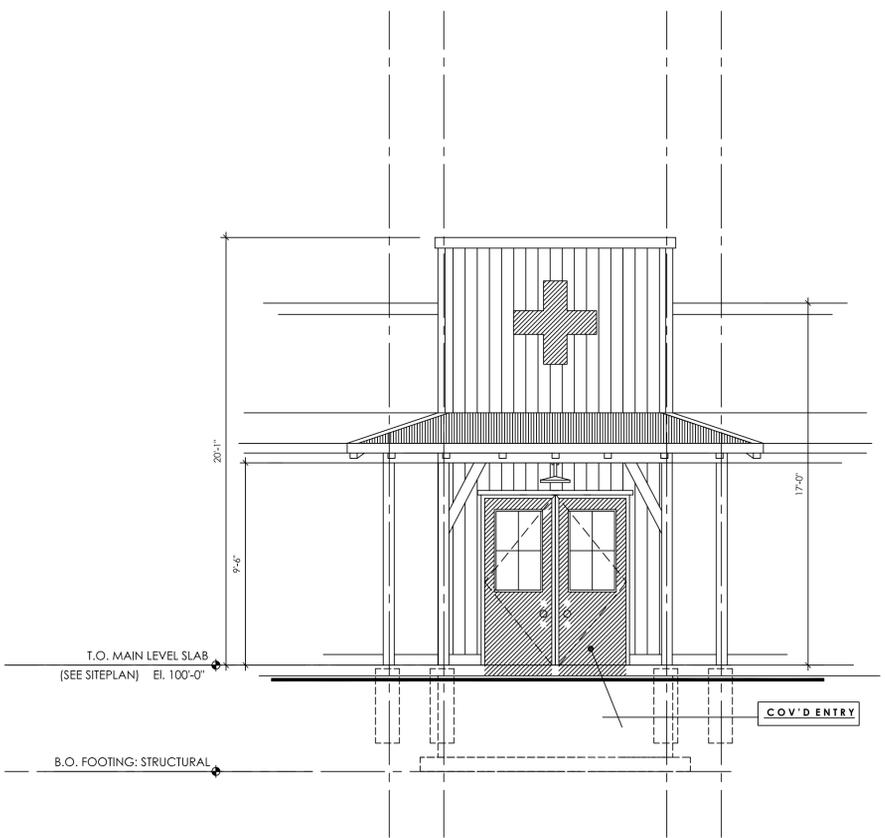
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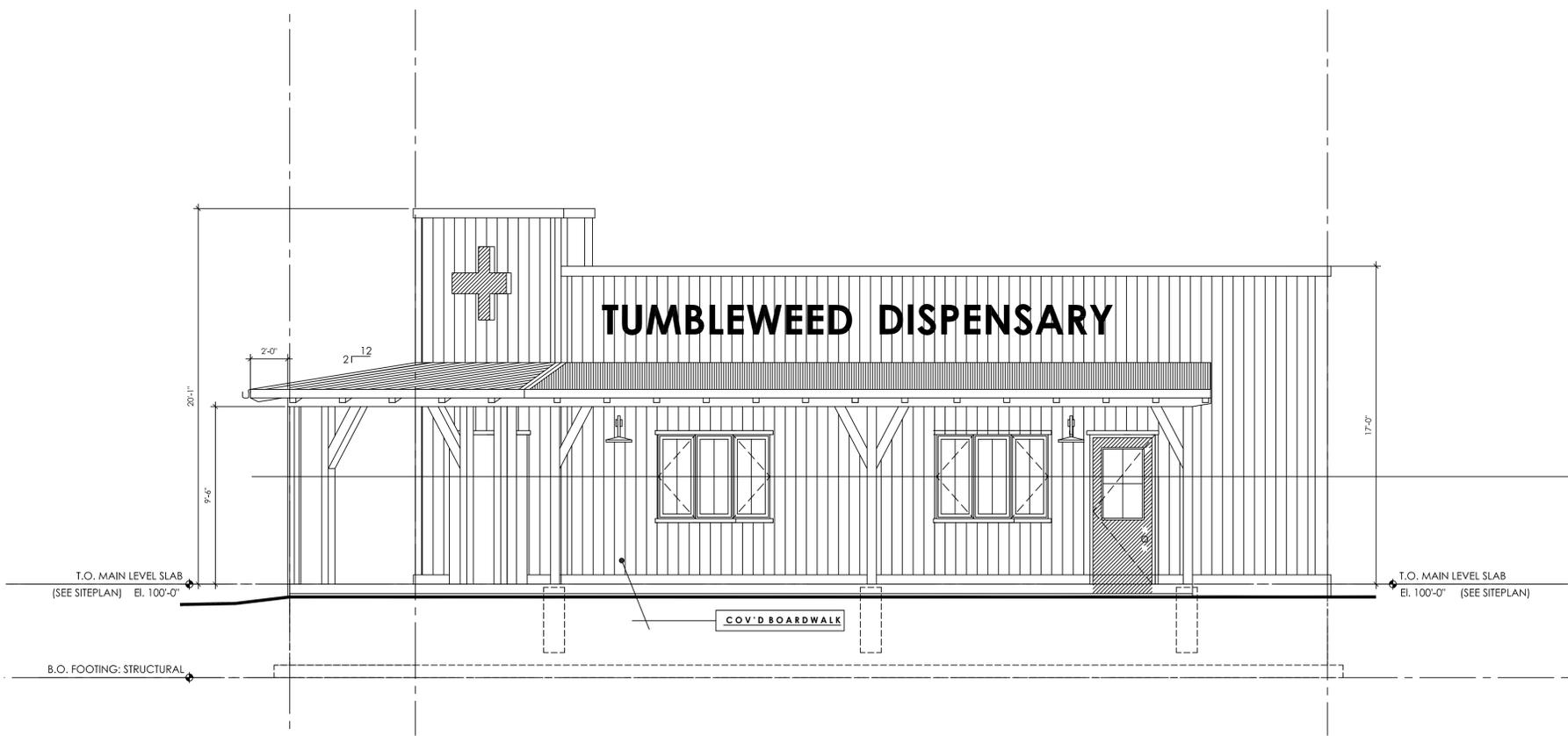
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ISSUE:	SCHEMATIC DESIGN

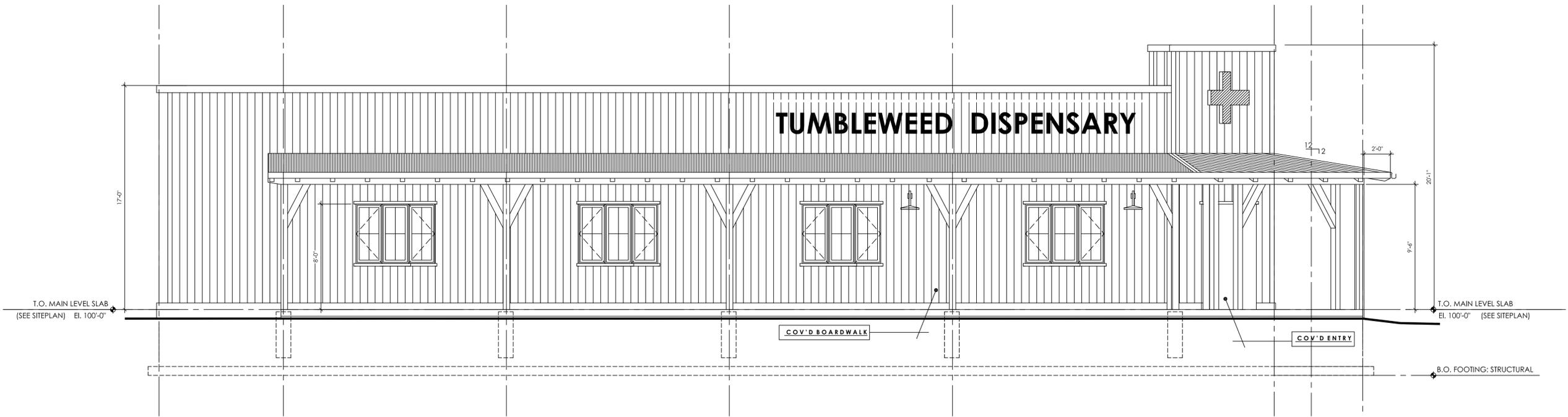
A3.1
 BUILDING
 ELEVATIONS



3 SOUTH-WEST ENTRY ELEVATION
 SCALE: 1/4" = 1'-0"



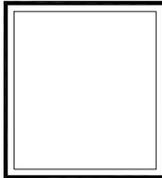
2 SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



1 WEST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



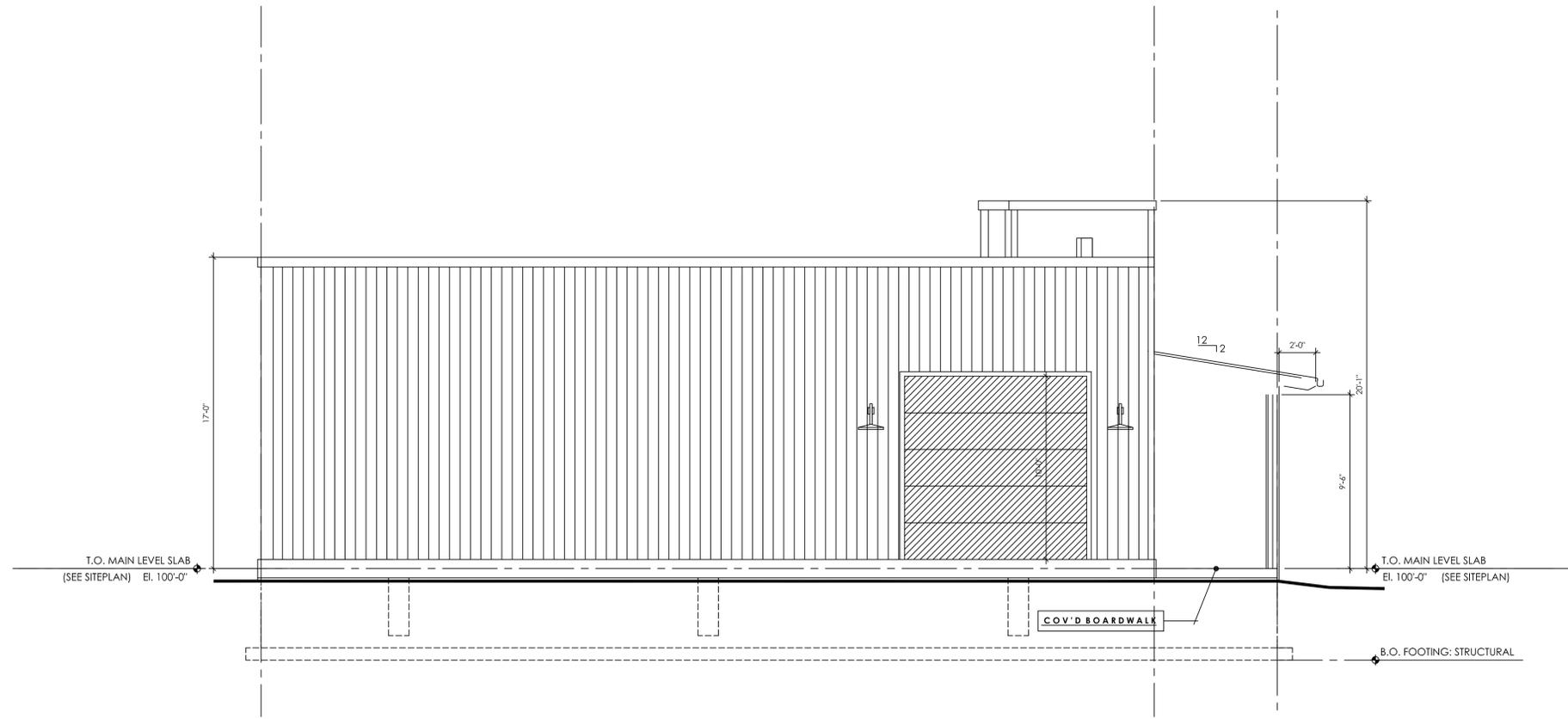
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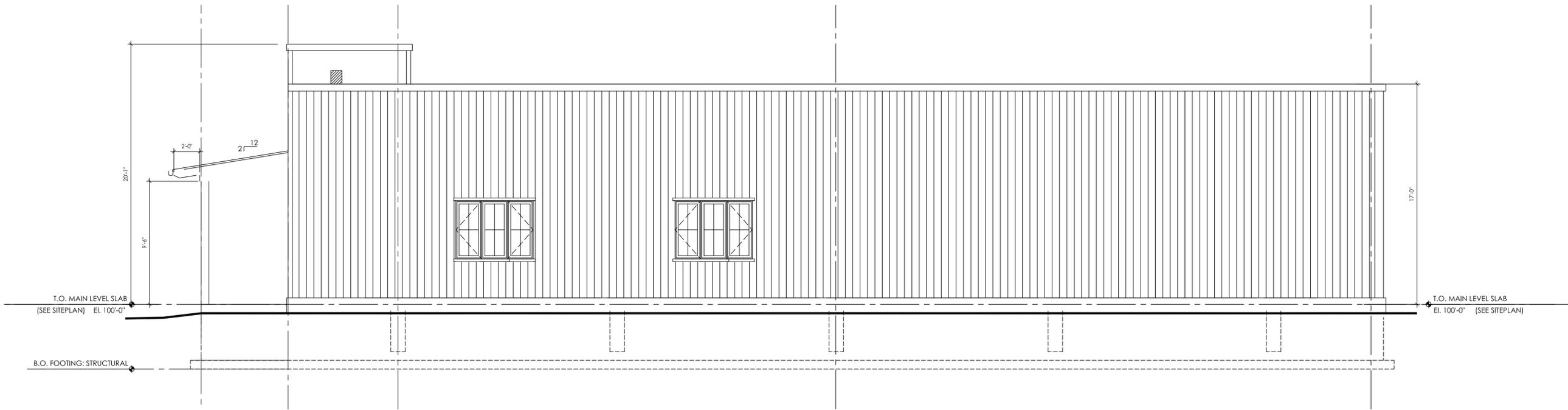
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date:	8-22-2016
issue:	SCHMATIC DESIGN

A3.2
 BUILDING
 ELEVATIONS



NORTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"