



Castle Peak Senior Care Community Town of Eagle, CO

Major Development Plan &
Final Plat Applications

April 1, 2014

Land Planning
Collaborative

Table of Contents
 Castle Peak Senior Care Community
 Major Development Plan & Final Plat Applications
 Lots 2, 3, 4, Filing 26, Eagle Ranch PUD
 Eagle, CO

Section	Topic	Pages
	Submittal Cover Letter	
Section I	Introduction	1 to 3
Section II	Castle Peak Development Plans <i>Title Sheet and Index (A0)</i> <i>Civil Plans (C1.01 – C1.09)</i> <i>Architectural Plans (A1 – A7)</i> <i>Landscape Plan (L1)</i> <i>Lighting Plans (E1 – E2)</i>	
Section III	Proposed Filing 27 Final Plat <i>Cover, Certifications and Plat Notes</i> <i>Plat, Line & Curve Data and Easements</i> <i>Copy of recorded Filing 26 Plat</i>	
Section IV	Phasing Schedule	4 to 4
Section V	Development Impact Report & Project Compatibility Statement	5 to 11
Section VI	Appendices	
A	Letter of Authorization	
B	Application Forms for MDP and Final Plat	
C	Title Commitment	
D	Soils Report	
E	Service Provider Letters	
F	Fourth Amendment to the Eagle Ranch PUD Guide	
G	Public Notice Address Listing	
H	Lighting Plan Fixture Cut Sheets	

Castle Peak Senior Care Community Project Contacts

Project Planner

Tambi Katieb, AICP
Land Planning Collaborative, Inc.
P.O. Box 3722, Eagle, CO 81631
(p) 970.328.4364 (e) landplan@centurytel.net

Project Design Team

Gaius G. Nelson
Nelson-Tremain Partnership
125 Southeast Main Street, Suite 245
Minneapolis, MN 55414
(p) 612.331.7178 (e) gaius@NTP.cc

Pamela Hopkins, AIA, LEED, AP
Snowdon Hopkins Architects, PC
P.O. Box 3340
Vail, CO 81658
(p) 970.476.2201 (e) Pam@SnowdonHopkins.com

Sherry Dorward Architect PLA ASLA LEEP AP
Sherry Dorward Landscape Architect
P.O. Box 3766, Vail, CO 81658
(p) 970.470.2930 (e) sherrydorward@me.com

Gary Brooks
Alpine Engineering, Inc.
P.O. Box 97
Edwards, CO 81632
(p) 970.926.3373 / (e) brooks@alpinecivil.com

Project Surveyor

Kelly Miller, PLS, Eagle County Engineering Department

Project Applicant

Jill Klosterman, Executive Director, Eagle County Housing and Development Authority

Project Operator

Katherine Kopp, Vice President of Senior Development, Augustana Care Inc.

Section I: Introduction

Eagle County Housing and Development Authority (“Authority”) is submitting this application for Major Development Plan Review in order to allow for the development of the Castle Peak Senior Care Community (“Castle Peak”) on Lots 2, 3, and 4, Filing 26, Eagle Ranch Planned Unit Development (“PUD”). This application is being submitted as a combined Major Development Plan and Final Plat pursuant to Town Planner direction at pre-application conference and Sections 4.06.030 and 4.12.020 of the Town Land Use and Development Code.

Senior Care Land Company, LLC, an affiliate of Eagle County Housing and Development Authority currently own lots 2, 3, and 4, Filing 26, Eagle Ranch.

The Authority began the process of bringing a senior living community to Eagle County over three years ago, following a series of market studies that revealed a gap in services for the community’s seniors. The Authority, whose mission is to provide innovative, affordable housing solutions to the citizens of Eagle County, including elderly and disadvantaged members of the community, conducted a national search to find a provider to help fulfill this unmet need.

Augustana Care (“Augustana”) – a non-profit organization with over 1,200 employees that owns and manages over 800 nursing home beds and 1,100 senior housing units – was selected to develop, design, own and manage the Castle Peak Senior Care Community.

All senior care uses proposed are consistent with the existing Eagle Ranch Neighborhood Center zoning district as described in the Fourth Amended PUD Guide for Eagle Ranch Planned Unit Development, recorded June 26, 2013. A copy of the PUD guide is included for reference in the appendix.

The development plans are the result of significant pre-application input by the current property owner, Eagle Ranch Design Review Board (“DRB”) and Town officials among others. The Castle Peak plans reflect deliberate placement of senior care uses in order to control construction and operational costs while at the same time providing sufficient parking and circulation, outdoor space and room for future expansion or development.

The Castle Peak Senior Care Community will provide assisted living, memory care, skilled nursing and short-term rehabilitation along with an inviting common area. As Castle Peak is part of the larger Eagle Ranch community, residents will have a chance to get to know people of all ages, including children at the nearby Brush Creek Elementary School. The proposed first phase of Castle Peak includes the following types of senior care uses:

- 12 Memory Care Suites (A secure environment for people that have dementia related diseases and are at risk of elopement).

- 10 Transitional Care Suites (An environment where people no longer need acute care but are in need of 24-hour nursing care and intensive therapy in order to return home. Average length of stay would be less than 90 days).
- 22 Nursing Care Beds (An environment for people with chronic care conditions. Residents find it difficult to manage in their own homes and need 24-hour supportive services by licensed professionals. Two rooms could be designated for in patient hospice care).
- 20 Assisted Living Apartments (An environment where people are not in need of 24-hour skilled nursing care but do need 24-hour observation and monitoring by non licensed professional care givers. Each resident would have a private apartment with separate bedroom, bathroom, kitchenette and living space).



Aerial view of Castle Peak Senior Care Community property (outlined in yellow) from the north.

The project will extend Freestone Road (currently serving the Sylvan Square Condominiums) as a looped driveway back to Sylvan Lake Road, directly across from MacDonal Street. Freestone Road will serve as primary access to parking and building entries for all proposed phases or future development. Phase 1 will consist of two buildings including a Commons building and Skilled Nursing Facility. The buildings will be physically connected with enclosed and outdoor walkways.

The Commons building includes resident amenities like a cafeteria, recreation and fitness room and social gathering space. The upper floors of the Commons

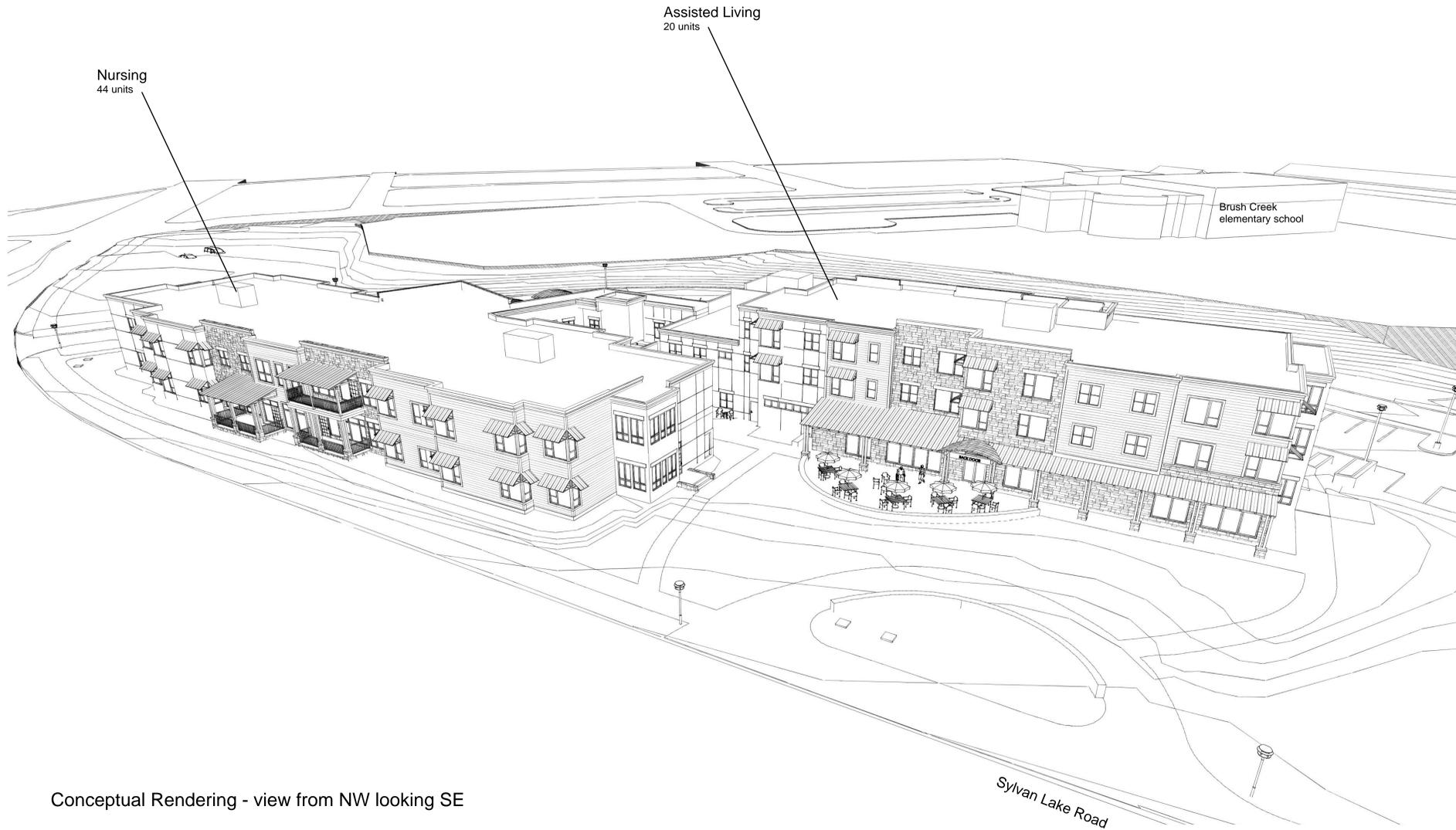
building include 20 assisted living apartments. The Skilled Nursing Facility includes 12 memory care suites, 10 transitional care suites, and 22 nursing care beds. The project layout allows future grade level extensions to the south and west – a critically important feature for mobility of staff and residents to the Commons and amenities (See Section II: *Castle Peak Development Plans* for more details).

Approval of this development plan is consistent with the goals and policy objectives of the Town of Eagle, including the updated Eagle Area Community Plan. Approval of the application is also consistent with the requirements of both the Town of Eagle Development Standards and Subdivision regulations as well as the prevailing guidelines of the Eagle Ranch Design Review Board.

Section II: Castle Peak Senior Care Community Development Plans

Castle Peak Senior Care Community
 Lots 2, 3, and 4, Eagle Ranch Filing No. 26
 Major Development Plan

Town of Eagle, CO
 April 1, 2014

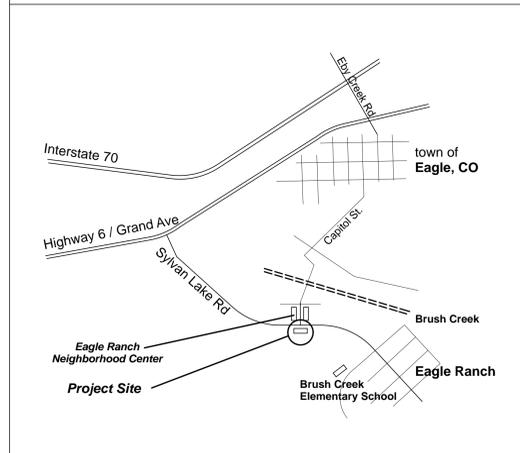


Conceptual Rendering - view from NW looking SE

SUBMITTAL SHEETS:

- **Title Sheet**
 - A0 submittal sheet index
- **Civil**
 - C1.01 cover sheet
 - EC-1 existing conditions
 - C1.02 geometric layout and signage plan
 - C1.03 grading plan and Freestone Road profile
 - C1.04 storm sewer plan and profiles
 - C1.05 sediment and erosion control plan
 - C1.06 grading and drainage details
 - C1.07 grading and drainage details
 - C1.08 utility plan and profiles
 - C1.09 utility details
- **Architectural**
 - A1 site plan
 - A2 floor plan - 1st FL
 - A3 floor plans - Upper Floors
 - A4 elevations - Assisted Living
 - A5 elevations - Nursing
 - A6 perspective views
 - A7 building sections
- **Landscape**
 - L1 landscape plan
- **Electrical**
 - E1.0 exterior lighting plan
 - E2.0 exterior lighting - point by point

PROJECT LOCATION:



PROJECT TEAM:

OWNER
 Castle Peak Senior Care, LLC
 500 Broadway
 Post Office Box 850
 Eagle, CO 81631
 Office: (970) 328-8773

Contact: Jill Klosterman, Housing Director

ARCHITECT
 Nelson-Tremain Partnership
 125 SE Main Street, Suite 245
 Minneapolis, MN 55414
 Office: (612) 331-7178 Fax: (612) 331-8255

Contact: Gaius Nelson, Principal
 Email: gaius@ntp.cc

ASSOCIATE ARCHITECT
 Snowdon and Hopkins Architects, PC
 PO Box 3340
 Vail, CO 81658
 Office: (970) 476-2201 Cell: (970) 376-6469

Contact: Pamela W. Hopkins, AIA, LEED AP
 Email: Pam@SnowdonHopkins.com

STRUCTURAL ENGINEER
 REI Structural
 1801 Broadway, Suite 250
 Denver, CO 80202
 Office: (303) 575-9510 Cell: (303) 475-229

Contact: Bob Redwine, P.E., S.E.
 Email: bredwine@rei-structural.com

MECHANICAL ENGINEER
 Cain Thomas Associates
 1310 East Highway 96, suite 209
 White Bear Lake, MN 55110-3614
 Office: (651) 426-9549 Fax: (651) 426-5048

Contact: Scott D. Thomas, P.E., LEED AP, BD+C
 Email: sthomas@cainthomas.com

ELECTRICAL ENGINEER
 Cain Thomas Associates
 1310 East Highway 96, suite 209
 White Bear Lake, MN 55110-3614
 Office: (651) 426-9549 Fax: (651) 426-5048

Contact: Jay J. Cain, P.E.
 Email: jcain@cainthomas.com

ELECTRICAL ENGINEER
 Architectural Engineering Consultants, Inc.
 Mechanical, Electrical, & Lighting Design Services
 PO Box 8489, 40801 US Hwy 6 & 24, ste 214
 Avon, CO, 81620
 Office: (970) 748-8520 Fax: (970) 748-8521

Contact: Stanton O. Humphries, P.E.
 Email: stan@aec-vail.com

CIVIL ENGINEER
 Alpine Engineering, Inc.
 P.O. Box 97
 34510 US Highway 6
 Unit A-9 Edwards Business Ctr.
 Edwards, CO 81632
 Office: (970) 926-3373 Cell: (970) 376-2280

Contact: Gary Brooks
 Email: brooks@alpinecivil.com

LANDSCAPE ARCHITECT
 Sherry Dorward Landscape Architect
 Mail: P.O. Box 3766, Vail, Colorado 81658
 Office: 51 Eagle Road, Building 3, 1st Floor
 Avon, Colorado 81620
 Cell: (970) 470-2930 Fax: (970) 476-7491

Contact: Sherry Dorward, PLA,
 ASLA, LEED® AP
 Email: sherrydorward@me.com

LAND PLANNER
 Land Planning Collaborative, Inc.
 PO Drawer 3722
 Eagle, CO 81631
 Voice/Fax: (970) 328-4364
 Mobile: (970) 401-3861

Contact: Tambi Katieb, AICP
 Email: landplan@centurytel.net



Nelson-Tremain Partnership
 ARCHITECTURE AND DESIGN FOR AGING
 in association with

Snowdon and Hopkins Architects, PC

Project:
**CASTLE PEAK
 SENIOR CARE
 COMMUNITY**
 EAGLE, CO

Lots 2, 3, and 4
 Eagle Ranch Filing No. 26
 Major Development Plan
 Town of Eagle, CO
 April 1, 2014

TITLE SHEET

Sheet Number:

A0

CASTLE PEAK SENIOR CARE COMMUNITY

TOWN OF EAGLE, COLORADO

April 2014



Project:
CASTLE PEAK SENIOR CARE COMMUNITY
 EAGLE, CO

Lots 2, 3, and 4
 Eagle Ranch Filing No. 26
 Major Development Plan
 Town of Eagle, CO
 April 1, 2014



COVER

C1.01

GENERAL NOTES

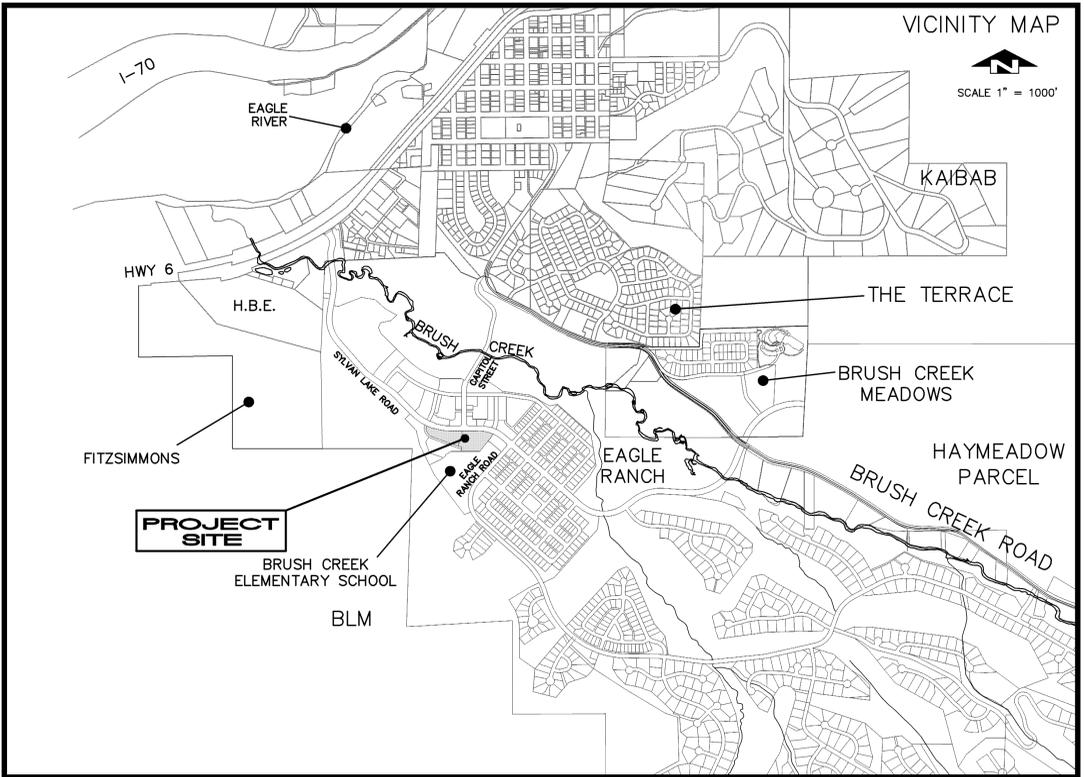
- The Contractor shall notify Alpine Engineering, Inc., Owner and Town of Eagle Engineering Dept. at least 48 hours prior to any construction. The Contractor shall coordinate all work with Alpine Engineering, Inc. and Owner.
- Alpine Engineering, Inc., assumes no responsibility for utility locations. It is the Contractor's responsibility to field verify the location of all utilities prior to commencement of any construction.
- The Contractor shall conform to all Town of Eagle rules, regulations and stipulations while accessing through or working in the Town.
- The Contractor shall take all appropriate precautions to significantly reduce any potential pollution caused by his activities, including vehicle fueling, storage of fertilizers or chemicals, etc. The Contractor shall have identified procedures for handling potential pollutants and have identified spill prevention and response procedures prior to any activities at the project site.
- The Contractor shall keep 2 sets of contract drawings marked up to fully indicate as-built conditions. The drawings shall be provided to the Owner and Alpine Engineering, Inc. upon completion of this work. Contractor is to provide at least two ties from physical monuments to all fittings, valves, manholes, and services.
- The Contractor shall maintain traffic at all times to the satisfaction of the Owner and the Town of Eagle. The Contractor shall minimize traffic disruptions and provide adequate safety precautions to ensure public safety.
- Safety is the responsibility of the Contractor. The Engineer is not responsible for safety in, on, or about the project site, nor for compliance by the appropriate party with any regulations relating hereto.
- It is the Contractor's responsibility to obtain (and conform to) all proper construction permits.
- The Owner will designate staging areas.
- The Contractor shall minimize all off site tracking. All soil tracked off site shall be immediately cleaned up to the satisfaction of the Town of Eagle and the Owner.
- If any groundwater is encountered the Contractor shall contact Owner, Alpine Engineering, Inc., and the Project Geotechnical Engineer immediately.
- The Contractor shall protect and preserve all trees, bushes, shrubs, and ground cover in a manner acceptable to the Owner.
- Observations of the work in progress and on-site visits are not to be construed as a guarantee or warranty by the Engineer of the Contractor's contractual responsibilities.
- All materials and workmanship shall be subject to inspection by the Town and/or their representatives, and Alpine Engineering, Inc. The Town reserves the right to accept or reject any such materials and workmanship that do not conform to the approved drawings and/or district standards or specifications.
- All construction shall conform to town standards and specifications and be subject to construction observation by their representatives. Copies of town standards must be obtained by the Contractor. Contractor shall have one (1) copy of the plans and one (1) copy of the appropriate specifications on the job site at all times.
- Street closures shall be kept to a minimum length of time. There shall be no material storage on Town Streets or property.
- It is the Contractor's responsibility to prepare and submit a Traffic Control Plan, as a requirement of the Town of Eagle's Road Cut Permit, and submit to the Town's Engineer prior to construction. The plan shall show existing and proposed traffic signs, existing and proposed crosswalk striping, construction limits, fencing and access, and vehicle tracking control measures.
- Contractor shall conform to all recommendations in the subsoil study prepared by HP Geotech (Report # 112 2698, September 20 2012)

UTILITY NOTES

- The Contractor is warned that conflicts with existing utility services may exist. Prior to beginning any construction, the Contractor shall contact all appropriate utility companies for line locations. The Contractor shall then locate all utilities (including depth). Any conflicts with the proposed construction shall be brought to the attention of the Engineer so that line or grade changes can be made to eliminate any conflicts with these existing utilities. All existing utilities shall be protected from damage by the Contractor. Damaged utilities shall be repaired by the Contractor at no expense to the Owner.
- All construction activities and excavating for utility trenches shall meet OSHA requirements.
- All Water System and Sanitary Sewer System construction shall conform to Town of Eagle standard specifications.
- All water mains and services shall have a minimum cover of 6 feet.
- Provide 10 feet minimum horizontal separation between water and sewer mains and services or enclose per Colorado Department of Health requirements.
- The Contractor shall mark all service line ends as shown on the details.
- The Contractor shall provide thrust blocks and megalug restraints at all bends and tees. Angles of water line bends are shown only as a guideline; all bends have not been identified or dimensioned, and additional bends may be required during construction. Vertical bends are not shown but will be required to maintain minimum cover.
- Water service lines to be Type K Copper with size per plan, a curb stop shall be installed for each service at the property line or edge of easement.
- The Contractor shall verify existing pipe or manhole inverts at tie in points prior to construction.
- The Contractor shall lay 10 gauges insulated copper trace wire along the water lines, (see detail sheet), and ductile iron water pipe shall be cad-welded charge size of CA-45. The Contractor shall test the pipe and the tracer wire to confirm conductivity prior to acceptance. The Contractor shall field install polyethylene wrap on all water lines (see detail sheet).
- The Contractor shall test all water mains in accordance with Town standard specifications, tests to include pressure test, chlorine test, bacterio test and leakage test.
- The Contractor shall attend a mandatory preconstruction meeting with the Town of Eagle Engineering Dept. and Alpine Engineering, Inc., prior to the start of construction.
- Sewer service lines to be 6" PVC unless otherwise indicated.
- All sewer lines shall have a minimum of 4.5 feet of cover.
- All sewer pipe dimensions noted are inside edge of manhole to inside edge of manhole.
- The Contractor shall test all sewer mains in accordance with Town standard specifications, tests to include low pressure air test, manhole vacuum test, and television test.
- The Contractor shall have water running in sewer lines during the t.v. recording process and cut sheet format shall conform to Town standard specifications.
- The Contractor is responsible for coordinating, conducting and scheduling for the testing of all utilities and obtaining approval and acceptance from all utilities.
- To maintain adequate skin friction on existing water mains during construction, the Contractor shall valve off stubs and deplete the pressure prior to excavation for extending water main stubs. The Contractor shall also go 10 feet minimum from the main cross tee before beginning the excavation trench. The excavation trench shall be a maximum of 1.5 : 1 slope.
- The Contractor may need to perform hydraulic testing and disinfection of existing waterlines as part of the testing and acceptance procedure for the proposed waterline.
- Compaction of all trenches and bedding must be obtained as per specifications.
- PHONE/CATV All phone and cable TV conduits, pedestals and appurtenances shall be installed in accordance with Century Link's design specifications and shall be reviewed and accepted by Century Link.
- If Water Mains cross within 18" (vertical) of sewer services, or if water mains are beneath sewer services, the contractor shall use C900 pipe for the sewer services, and the water and pipe sticks shall be centered on each other.

GRADING AND DRAINAGE NOTES

- All storm drains and culverts shall be constructed in accordance with the Technical Specifications for this Project.
- All drain pipes shall be installed with the required bedding.
- Elevations shown are at pipe invert unless otherwise shown.
- All standard storm drain structures are subject to modification by the Engineer to meet field requirements.
- Where any part of the storm drain system is located in a fill section, provide fill material compacted to 95% AASHTO T99 density from the original undisturbed ground up to structure bottom slabs and pipe bedding.
- Inlet boxes to be oversized to accommodate pipe size where necessary. Provide traffic load rated top slab to accommodate grate and frame for oversized boxes.
- All Reinforced Concrete Pipe Joints (RCP) shall utilize Type R-4 Rubber Gasket Joints which shall be in accordance with AASHTO M198 and ASTM C443 (standard specifications for joints for circular concrete pipe using rubber gaskets).
- Pipe lengths indicated are slope lengths measured along the centerline of pipe from inside face of box to inside face of box.
- Curb and Gutters shall be installed in such a manner as to insure positive drainage in all areas, as shown.
- Direct downspout drainage away from building foundation or to storm per Geotechnical Engineer.
- Ditch revegetation and ditch protective linings will require field adjustment during construction to account for varying soil conditions. Revegetation and linings will be evaluated after ditches are constructed.
- Grading adjacent to buildings shall be at a slope away from the building of 12" in 10' per the geotechnical report.
- The Contractor shall maintain existing drainage channels, culverts, and appurtenances during construction as necessary to protect roads and property.
- The Contractor shall remove all topsoil and man placed fill prior to commencement of construction.
- The ground surface surrounding the exterior of buildings shall be graded to slope away from the foundations in all directions.
- Proof roll all hardscape areas prior to installing basecourse and pavement, per Geotechnical Report.



HOLY CROSS ENERGY CONSTRUCTION SPECIFICATIONS

- ##### I. TRENCH AND CONDUIT
- The developer or contractor will contact Holy Cross Energy before conduit and vault installation begins to schedule a pre-construction meeting with the project inspector.
 - Changes in power facility construction from that shown on the project plans will not be made without advance approval from the Holy Cross Energy inspector.
 - Holy Cross Energy material shall not be moved from the project to which it was assigned without the advance approval of the inspector and the completion of necessary paperwork. Holy Cross Energy material shall not be installed for any use other than construction of power facilities.
 - All roads will be built to subgrade and all drainages will be constructed to grade before any vaults or conduits are installed.
 - All trench will be excavated deep enough to ensure that the top of installed power facilities will be 48" below final grade. Special care must be taken to insure that the top of conduits will be 48" below the bottom of drainage ditches and all other low areas.
 - Trench will be as straight as possible between vaults and shall have a smooth bottom free from low and high spots. Six inches of road base will be placed the entire length of the trench and well compacted prior to conduit installation. When placed in the trench, the conduit shall be in continuous contact with the compacted road base with no hold down weight added. Twelve inches of road base, as measured from the top of the conduit, will be placed on the conduit and well compacted prior to returning any native backfill to the trench. Large rocks shall not be placed directly on the road base layer. Care must be taken to avoid conduit damage during backfill and compaction; conduits found to be unusable at the time of power cable installation will be repaired by the developer or contractor before power can be made available.
 - Power facilities to be placed parallel to deeper utilities will have a horizontal separation from the deeper utility greater than the depth of such utility below final grade less four feet (see attached drawing). When crossing a deeper utility is unavoidable, the crossing will be made as close to perpendicular as possible.
 - Power line conduits will be installed with a minimum separation of 12" from all other new or existing underground utility lines. Wherever possible, this separation will be horizontal. The power line separation from plastic gas lines will be greater than this minimum wherever practicable. Power line conduits will be located deeper in the trench than the facilities of all other utilities unless the inspector grants a waiver prior to the start of construction.
 - Backfill and compaction above the road base layer will be as required by the governmental entity or other party having jurisdiction.
 - Conduit bell ends will not be allowed in the vaults. Holy Cross Energy will supply factory couplers, 90°, 45°, and 22 1/2° elbows as needed for job. Non-factory bends and heated bends will not be allowed. No more than two 90° elbows will be allowed in a conduit run of 500 feet. The conduit shall run straight between factory bends. Allowed bends must be further than 5' from a vault. Factory elbows supplied must be used intact; they cannot be cut to make a lesser bend. Bells will not be cut off conduit sticks to use as couplers. Holy Cross Energy elbows and pipe will be used only for the power facility installation.
 - The conduit will not be backfilled without the Holy Cross Energy inspector seeing all joints unless the inspector gives prior permission. All joints shall be completely sealed to the line marked on the mole end of the conduit after sufficient glue is applied to both conduits being jointed, even in areas where the trench cannot be excavated completely straight. Glue in the joint shall be allowed to completely dry prior to any stress being applied to the conduit on either side of the joint. Trench backfilled without the inspector viewing each joint or giving prior permission to cover the conduit will be re-excavated to expose the conduit, or the contractor will put a camera through each conduit in the span which was prematurely backfilled to verify the joint seating and conduit condition. The camera verification will be witnessed by the Holy Cross Energy inspector.
 - Individual conduits shall enter each vault at a consistent location. There is to be no crossing of conduits in the trench.
 - Both ends of a conduit run shall be securely plugged at the time of installation with Holy Cross Energy supplied material. Conduit ending outside a vault shall be marked with a 4" x 4" post or other approved method.
 - Red trench marking tape will be supplied by Holy Cross Energy and shall be installed 18" to 24" above the conduit during backfill.
 - At completion of the job, the inspector will do a final inspection. If the job does not meet with Holy Cross Energy's specifications or the approval of inspector, service will not be provided until specifications are met.
- ##### II. VAULTS
- Vaults shall be installed as follows:
 - A Splice vaults shall be installed with the manhole lid grade being slightly above final grade of the surrounding area, except when the vault is in a roadway, the manhole lid grade shall match the grade of the finished roadway surface.
 - B Splice vaults located in roads or other sloped areas will be installed so that the concrete base and lid are at the slope of the surrounding area. Vaults placed in roads will not be located in areas normally traversed by vehicle wheels. The inspector must approve all vaults installed at a slope.
 - C Transformer vaults and switchgear vaults will be installed with the bottom of the lid at final grade. The lid will be level.
 - D Where transformer and switchgear vaults are set into hillside or sloped cuts, the downhill side of the vault will be graded according to C above. The slope behind the vault will be laid back sufficiently to prohibit soil or rocks from sloughing onto the vault. If the slope cannot be laid back far enough, a retaining wall shall be constructed behind the vault at the direction of the inspector.
 - E All vault pods will be placed on the vaults at the time of vault installation to protect the public and wildlife, unless otherwise instructed by the inspector. The holes through transformer and switchgear pods will be covered at the time of vault installation with concrete pieces supplied by Holy Cross Energy, unless otherwise instructed by the inspector.
 - F Large vault pieces shall be jointed with a tar type sealant provided by Holy Cross Energy, with the exception of the vault lid, at the direction of the inspector.
 - Holes knocked in vaults for conduit installation shall be as small as possible and shall be grouted closed on the outside of the vault prior to backfill.
 - Conduit shall enter vaults perpendicular to the vault wall, at least 2" from any adjacent walls and at least 2" above the vault base. There shall be a minimum separation of 1" between conduits. See vault drawings.
 - Conduit will extend 4" into the vault (measured from the inside wall of the vault) after backfilling is complete.
 - Ground rods in vaults for underground cable installation shall be laid in the trench with the conduits. The end of the rod shall extend approximately 6" into the vault through the conduit knockout. The rod will have a 45° bend located approximately 3" from the vault end, with the bend going away from the conduits. The bent end of the rod must be far enough from the vault wall to allow crimping the grounding conductor onto the rod. The rod must be at least 2" from the conduit at its entrance into the vault. See vault drawings.
 - After the vault has been set, pipes extended in and grouted and the ground rod is in place, vaults shall be swept out removing all dirt or rocks. Cleanup shall be completed to the satisfaction of the inspector prior to cable installation being scheduled.
 - Pedestals for other utilities shall not be located closer than 10' to a vault on sides where transformers or switchgear will have access doors. Pedestals shall not be located closer than 5' to a vault on sides where the pad-mounted equipment will not have access doors.

CONSULTANT CONTACTS

OWNER: EAGLE COUNTY (RICK ULLOM) (970) 328-6204
 ARCHITECT: NELSON TREMAIN PARTNERSHIP (GAIUS NELSON) (612) 331-7178
 ARCHITECT: SNOWDON HOPKINS (PAM HOPKINS) (970) 476-2201
 CIVIL ENGINEER: ALPINE ENGINEERING (GARY BROOKS) (970) 926-3373
 GEOTECHNICAL ENGINEER: HP GEOTECHNICAL (Steve Powlak) (970) 945-7988
 LANDSCAPE: SHERRY DORWARD (Sherry Dorward Landscape Architects) (970) 470-2930

UTILITY CONTACTS

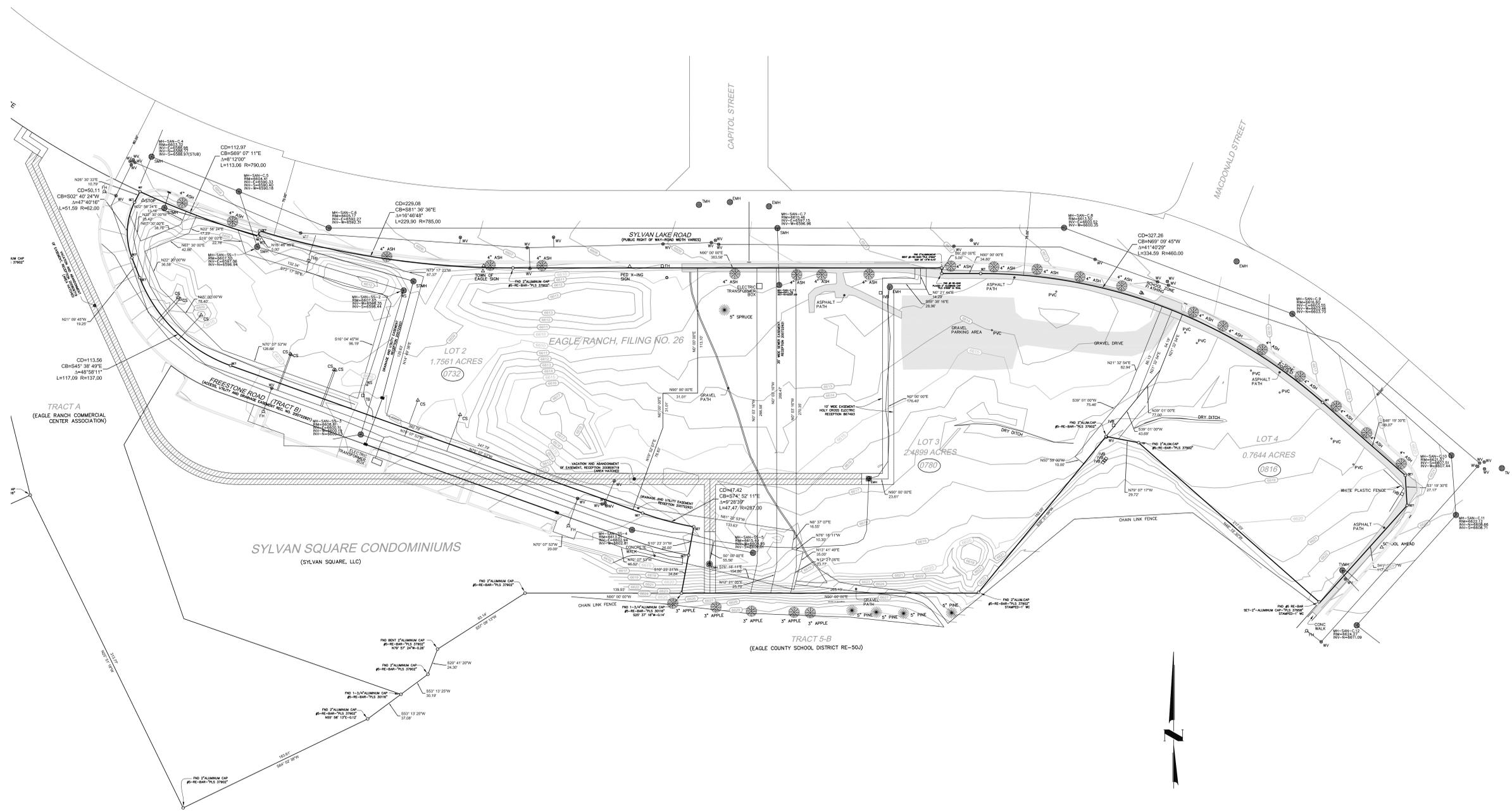
WATER & SEWER SYSTEM (Dusty Walls, Town of Eagle Public Works) (970) 328-6678
 ELECTRIC (Keith Hernandez, Holy Cross Energy) (970) 947-5439
 GAS (Todd Ellsworth, Source Gas) (970) 309-2722
 CATV & TELEPHONE (Patricia Riddoch, Century Link) (970) 328-8290

SHEET INDEX

COVER SHEET	C1.01
EXISTING CONDITIONS	EC-1
GEOMETRIC LAYOUT AND SIGNAGE PLAN	C1.02
GRADING PLAN & FREESTONE RD PROFILE	C1.03
STORM SEWER PLAN & PROFILES	C1.04
SEDIMENT & EROSION CONTROL PLAN	C1.05
GRADING & DRAINAGE DETAILS	C1.06-C1.07
UTILITY PLAN & PROFILES	C1.08
UTILITY DETAILS	C1.09

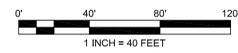
PRELIMINARY
 APRIL 2014
 NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	BY
	12/06/12	DRB SUBMITTAL	GLB
	01/31/13	DRB SUBMITTAL	GLB
	04/01/14	MAJOR DEVELOPMENT PERMIT	GLB



NOTES

- Recorded easements and rights-of-way are shown on this map as disclosed in Land Title Guarantee Company Order No. VC50033567-3, Effective date August 06, 2012 at 5:00pm.
- Bearings shown on this map are based on the assumption that the South Line of Lot 3, Eagle Ranch, Filing No. 26, bears N90°00'00"W as monumented and shown hereon.
- Survey Date: August 23, 2013
- Set #5 rebar with 2" aluminum cap marked "PLS 37958" Eagle County Engineering Department at all exterior boundary corners and where noted "SET" unless otherwise noted.
- Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
- The purpose of this survey was to prepare an ALTA/ACSM map of the property boundary for which is being considered to construct senior housing.
- Utility are shown as marked on ground by Underground Utility Locating Consultants, LLC, P.O. Box 176, Oak Creek, CO 80467, 970-819-0547, locator@uulc.com along with the Town of Eagle.
- The Lineal units used in this survey are in feet.
- Vertical datum is NAVD29 using the Town of Eagle MH published elevation utility sheet provided by the Town of Eagle.



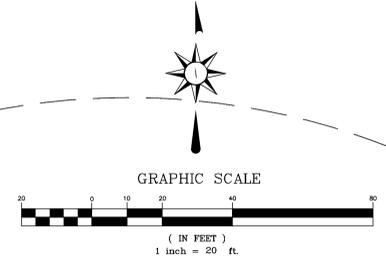
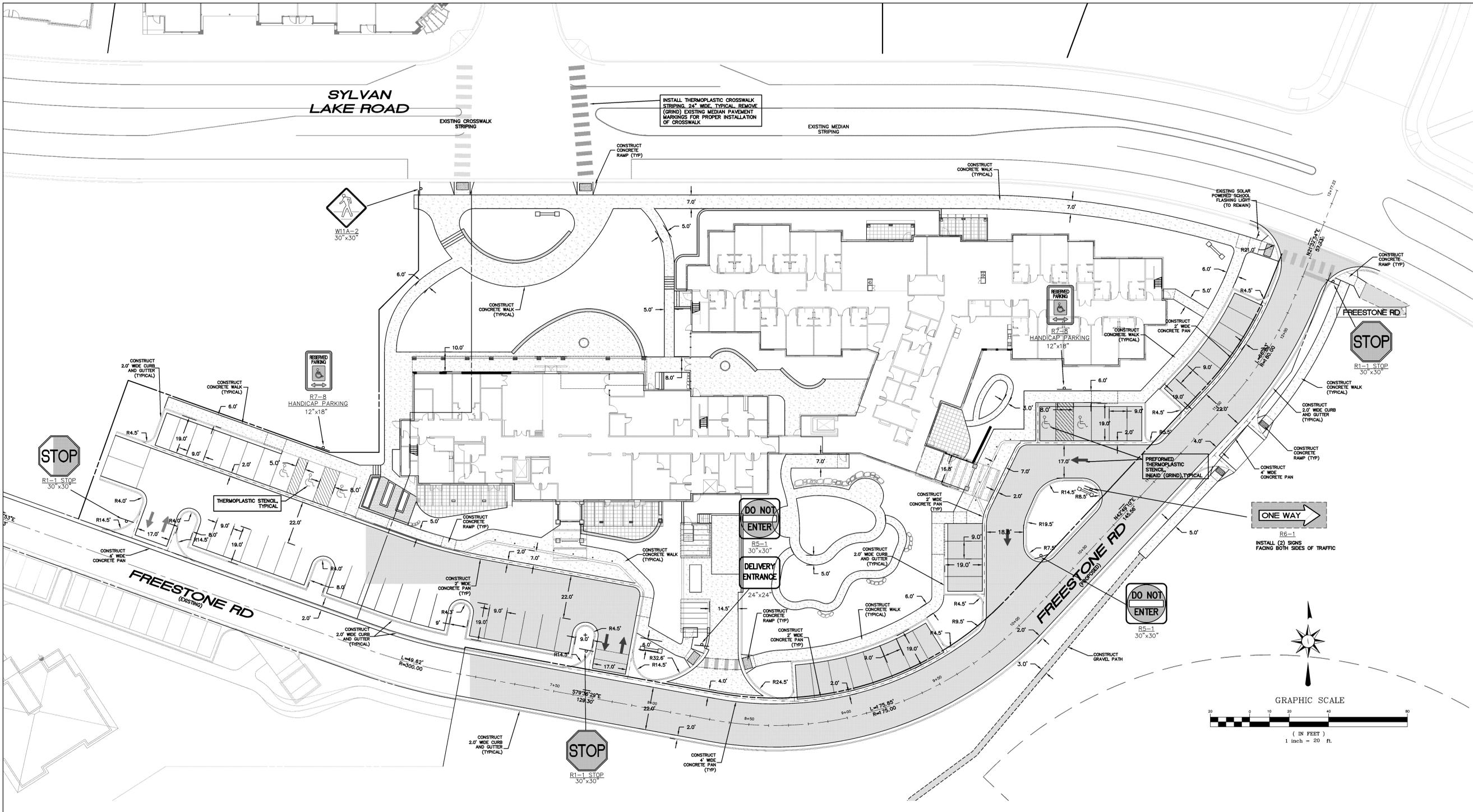
LEGEND

ROAD SIGN	△ RS	FENCE LINE	—*—*—
PVC PIPE (USE UNKNOWN)	○ PVC	TELEPHONE	—T—T—
PROPERTY CORNER FND	○	TELEVISION	—TV—
GOVERNMENT CORNERS	⊙	WATER LINE	—W—
MONUMENT SET	○ SET	ELECTRIC	—E—
STORM SEWER MANHOLE	⊙ STMH	GAS LINE	—G—
SANITARY SEWER MANHOLE	⊙ SMH	FIBER OPTIC	—F—
ELECTRIC MANHOLE	⊙ EMH	SANITARY SEWER	—SS—
COMMUNICATIONS MANHOLE	⊙ TMH	STORM SEWER	—ST—
WATER VALVE	⊙ WV	CONTOUR LINE	—○—○—
WATER CURB STOP	△ CS		
TELEPHONE BOX	□ TB		
IRRIGATION VALVE BOX	□ IVB		
FIRE HYDRANT	□ FH		

EXISTING CONDITIONS PLAN

Sheet Number:

(SEAL)



GENERAL NOTES:

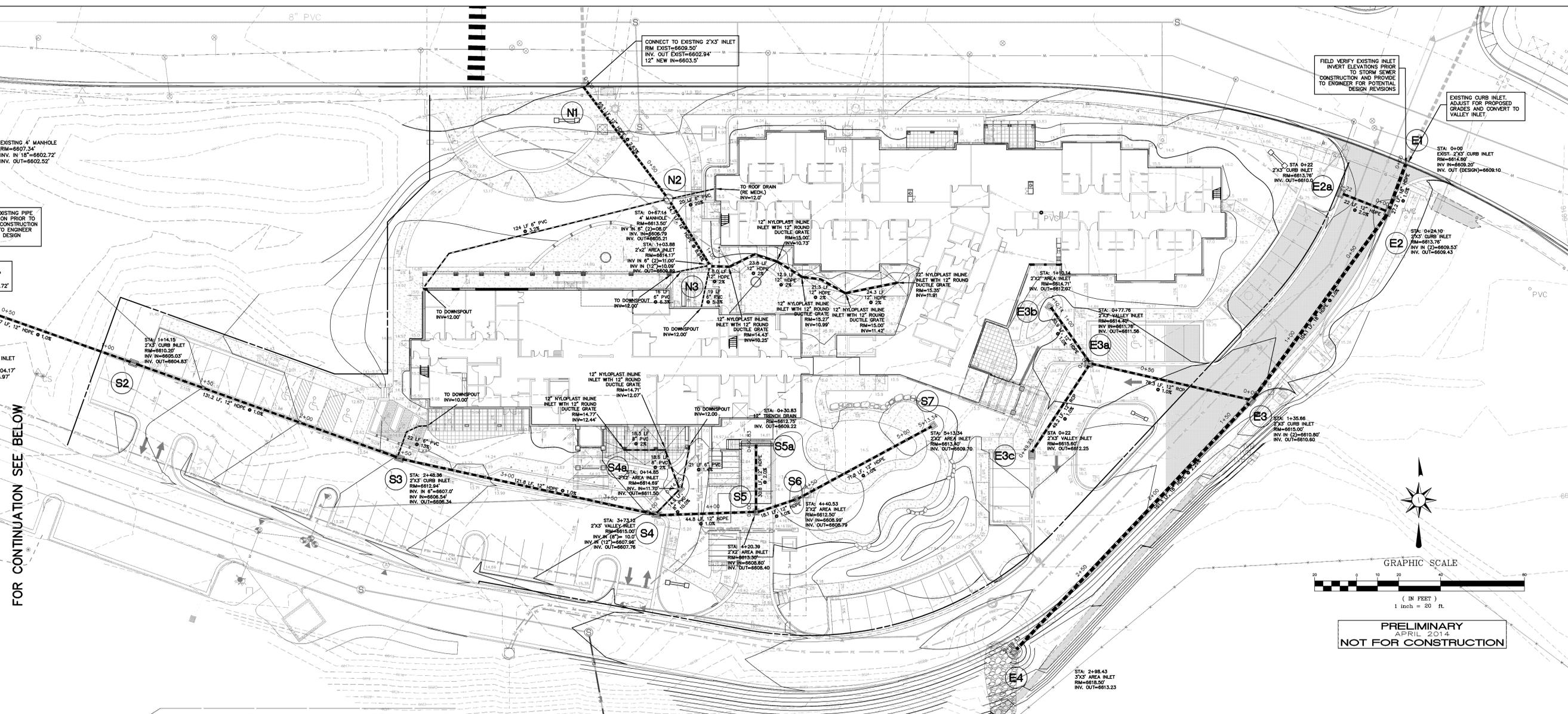
1. ACCESSIBLE PARKING SPACES ASSOCIATED WITH EACH BUILDING MUST BE LABELED AND SIGNED. THESE SPACES MUST BE SITE INSPECTED BY THE TOWN TO ENSURE COMPLIANCE.
2. TYPICAL SIGNAGE SHALL COMPLY WITH CDOT M&S STANDARDS FOR CLASS 1 SIGN.
3. SIGN PANELS SHALL CONFORM TO M.U.T.C.D. FOR SIGN AND COLOR.
4. LATERAL PLACEMENT OF SIGNAGE SHALL BE PER CDOT M&S STANDARDS.
5. PAVEMENT MARKING PAINT SHALL BE EPOXY BASED AND FOLLOW SPECIFICATIONS AND INSTALLATION PER C.D.O.T. SECTION 627.
6. ALL PREFORMED THERMOPLASTIC MARKING (HANDICAP, STOP BAR, CROSSWALK, ARROW) SHALL BE INLAID BY GRINDING ASPHALT, PER C.D.O.T. SECTION 627.

STRIPING NOTES:

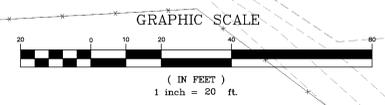
- PARKING LANES**
 SOLID WHITE, 4-INCH WIDE, AS SHOWN ON THE PLANS.
- HANDICAP SPACES**
 ACCESS AISLE: 60" WIDE AISLE, SOLID WHITE, 4-INCH WIDE STRIPES, 30 DEGREE ANGLE @ 36" O.C.
 STENCIL: INLAID (GRIND) PREFORMED THERMOPLASTIC
- STOP LINES**
 SOLID WHITE, 24-INCH WIDE. EXTEND PARALLEL TO INTERSECTED ROADWAY LOCATE AT THE DESIRED STOPPING POINT, NOT MORE THAN 30-FEET, NOR LESS THAN 4- FEET FROM THE NEAREST EDGE OF THE INTERSECTED TRAFFIC LANE.
- CROSSWALK LINES**
 SOLID WHITE, 24-INCH WIDE WITH 3-FT GAPS. EXTEND ACROSS ENTIRE WIDTH OF PAVEMENT. THE WIDTH OF CROSSWALK IS USUALLY DETERMINED BY THE WIDTH OF THE SIDEWALKS SO CONNECTED, HOWEVER, IN NO CASE SHALL THIS BE LESS THAN 6- FEET.
- WORD, ARROW AND SYMBOL MARKINGS**
 ALL LETTERING, ARROWS AND SYMBOLS SHALL BE IN CONFORMANCE WITH "THE STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY THE FEDERAL HIGHWAY ADMINISTRATION.

PRELIMINARY
 APRIL 2014
 NOT FOR CONSTRUCTION

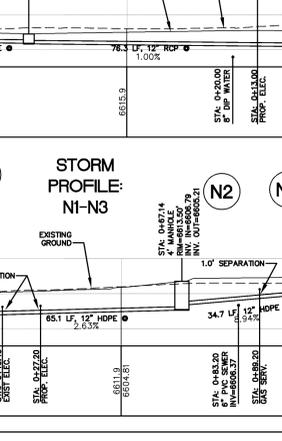
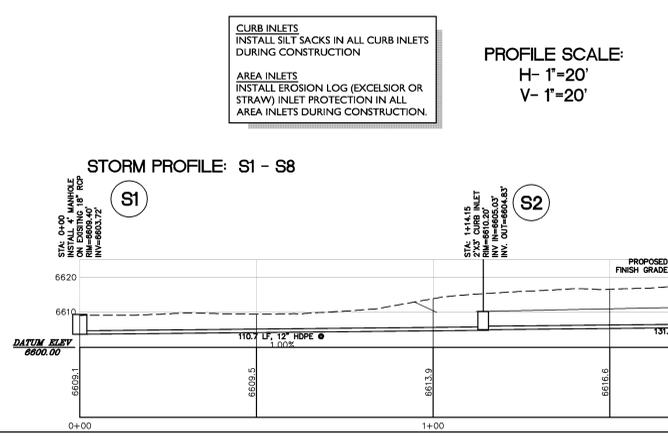
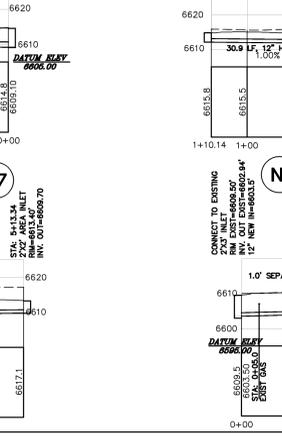
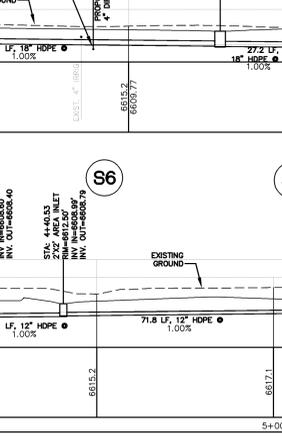
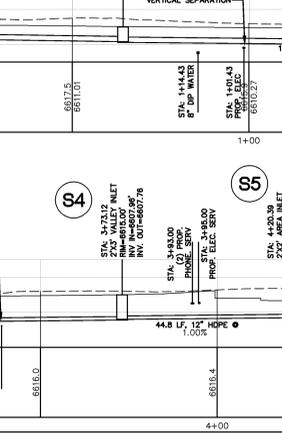
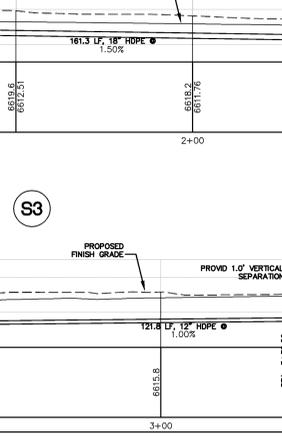
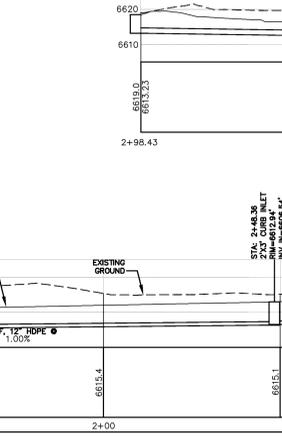
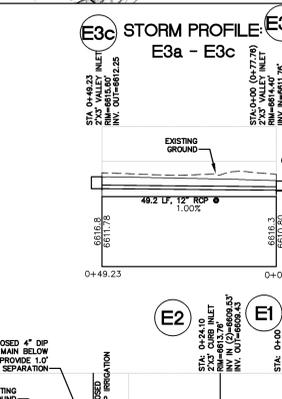
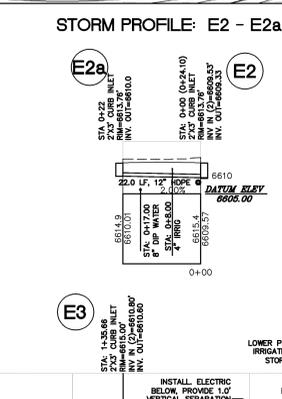
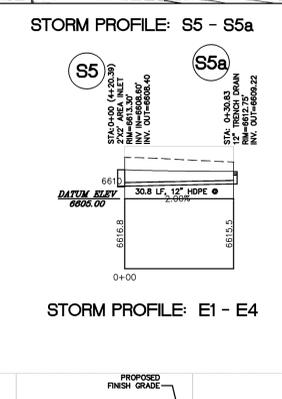
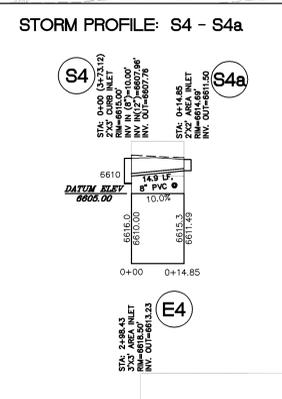
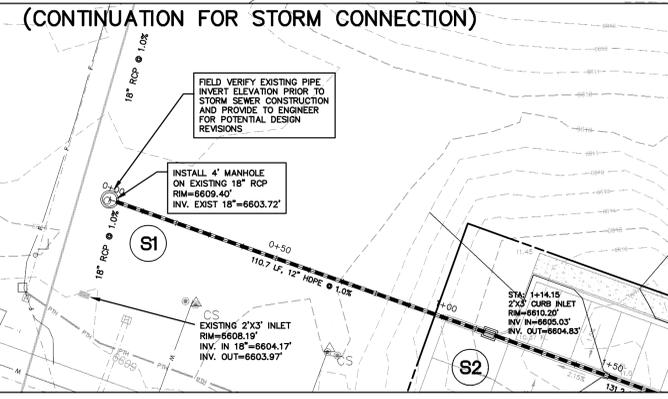
P:\PROJECTS\140526\140526-01\COMMON\WORKING\GEOMETRIC LAYOUT SIGNAGE.dwg, 3/31/2014 11:05:54 AM, Walsby



FOR CONTINUATION SEE BELOW



PRELIMINARY
APRIL 2014
NOT FOR CONSTRUCTION



- GENERAL NOTES:
1. STORM SEWER STRUCTURE TYPES REFER TO THE COLORADO DEPARTMENT OF TRANSPORTATION M & S STANDARDS, CDOT STANDARD SPECIFICATIONS, OR ARE INCLUDED ON THE DETAIL SHEETS.
 2. STORM SEWER ELEVATIONS SHOWN ARE AT PIPE INVERT UNLESS OTHERWISE SPECIFIED.
 3. PIPE LENGTHS INDICATED ARE SLOPE LENGTHS MEASURED ALONG THE CENTERLINE OF PIPE FROM INSIDE FACE OF INLET (OR MANHOLE) TO INSIDE FACE OF INLET (OR MANHOLE).
 4. PIPE LENGTHS FOR LAST RUN AT OUTFALLS DO NOT INCLUDE FLARED END SECTIONS.
 5. STORM DRAINAGE FACILITIES NEED TO BE PERIODICALLY INSPECTED AND MAINTAINED TO INSURE PROPER FUNCTION.
 6. STORM SEWER STATIONING IS INDEPENDENT OF ROAD STATIONING. STORM SEWER STATIONING CORRELATES TO THE CENTERLINE OF STORM SEWER PIPE AND THE CENTER OF INLET BOXES OR MANHOLES.
 7. INSTALL ALL GAS AND ELECTRIC SERVICES AND MAINS ABOVE STORM SEWER EXCEPT WHERE NOTED. IF A CONFLICT EXISTS INSTALL SHALLOWS BELOW STORM SEWER.
 8. PROVIDE MIN. 18" VERTICAL SEPARATION BETWEEN STORM SEWER AND ANY OTHER UTILITY LINE.
 9. USE ADS N-12 WT FOR 12" DIAMETER AND LARGER STORM PIPE. USE PVC SDR-35 PIPE FOR 8" AND SMALLER DIAMETER STORM.

Nelson-Tremain Partnership
ARCHITECTURE AND DESIGN FOR AGING
in association with
Snowdon and Hopkins Architects, PC

Project:
CASTLE PEAK SENIOR CARE COMMUNITY
EAGLE, CO

Lots 2, 3, and 4
Eagle Ranch Filing No. 26
Major Development Plan
Town of Eagle, CO
April 1, 2014

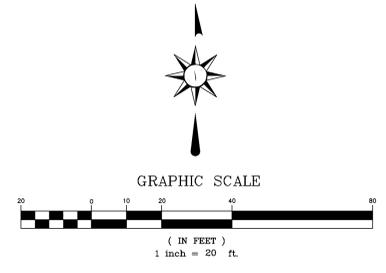
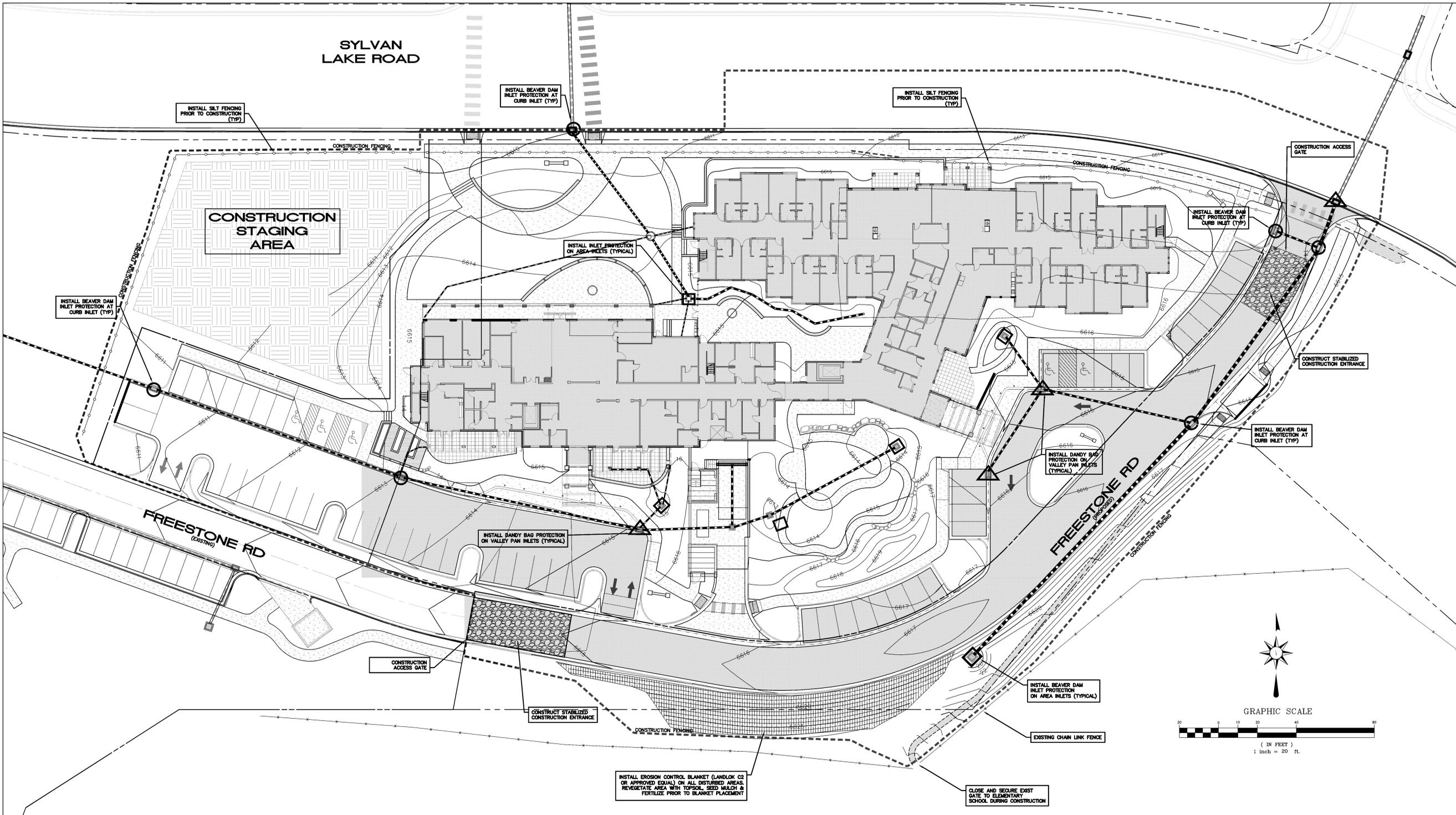
ALPINE A&E ENGINEERING INC.
EDWARDS BUSINESS CENTER
34510 US HIGHWAY 6, UNIT A8
P.O. BOX 97 • EDWARDS, CO 81632
PH: (970) 529-3373 • FX: (970) 529-3394

(SEAL)

STORM SEWER PLAN & PROFILES

C1.04

P:\PROJECTS\2014\EDWARDS\WORKS\CDM-Filing.dwg, 3/31/2014 11:11:11 AM, Wsherry



CONSTRUCTION SEQUENCE OF EROSION/SEDIMENT CONTROL MEASURES

BEFORE COMMENCING GRADING OR CONSTRUCTION

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT ALL POINTS OF INGRESS AND EGRESS.
2. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
3. CONSTRUCT HAY BALES AND WATTLES AND ALL SEDIMENT CONTROL DEVICES.
4. BEGIN DEMOLITION, EXCAVATION AND CONSTRUCTION.
5. INSTALL EROSION CONTROL MEASURES (LANDLOK TRM FABRIC, RIP RAP AND WATTLES) AFTER DITCHES AND SWALES HAVE BEEN CONSTRUCTED AND TOPSOIL AND SEED HAVE BEEN PLACED. INSTALL INLET PROTECTION IN ALL INLETS AS THEY ARE CONSTRUCTED.
6. TOPSOIL AND REVEGETATE ALL DISTURBED AREAS WITH APPROVED SEED MIX PER LANDSCAPE PLANS.
7. CONTRACTOR SHALL REMOVE SEDIMENT CONTROL FACILITIES AFTER FINAL STABILIZATION.

GENERAL NOTES FOR SEDIMENT CONTROL

1. ADHERE TO EAGLE RANCH DRB STANDARDS FOR CONSTRUCTION FENCING AND SILT FENCE INSTALLATION.
2. SEE CONTRACTORS CONSTRUCTION MANAGEMENT PLAN FOR LOCATION OF CONSTRUCTION FENCING.
3. INSTALL AND MAINTAIN SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS AND AS NEEDED TO PREVENT SEDIMENT FROM DISCHARGING OFF-SITE.
4. ALL PROPOSED SEDIMENT CONTROL MEASURES ARE TEMPORARY MEASURES UNLESS SPECIFIED OTHERWISE ON PLANS.
5. SEDIMENT CONTROL MEASURES MAY REQUIRE FIELD ADJUSTMENTS AT THE TIME OF CONSTRUCTION TO INSURE THAT THEIR INTENDED PURPOSE IS ACCOMPLISHED.
6. PROVIDE CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES TO INSURE THAT SEDIMENT CONTROL EFFICIENCY IS OBTAINED UNTIL FINAL STABILIZATION OF SITE HAS TAKEN PLACE.
7. INSTALL SEDIMENT CONTROL MEASURES AT THE ONSET OF GRADING OPERATIONS SO THAT EFFECTIVE SEDIMENT CONTROL CAN BE ACHIEVED DURING THE ENTIRE CONSTRUCTION PERIOD.
8. STABILIZE ALL POINTS OF INGRESS AND EGRESS WITH CRUSHED STONE DURING CONSTRUCTION TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
9. FOR TEMPORARY STOCKPILES APPLY SEED, HYDROMULCH AND TACKIFIER IMMEDIATELY AFTER THEY ARE CONSTRUCTED FOR STABILIZATION. IF EROSION OCCURS AFTER APPLICATION OF THE TACKIFIER, USE EXCELISUR C2 EROSION CONTROL FABRIC.
10. THE TERM "REVEGETATION" ON THIS PLAN MEANS THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF FERTILIZER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS. REFER TO LANDSCAPE PLANS FOR SEED MIX, FERTILIZER TYPE, MULCH, TACKIFIER AND APPLICATION RATES.
11. IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE APPROPRIATE MEASURES TO INSURE THAT NO SEDIMENT LADEN WATER IS DISCHARGED FROM THE SITE.
12. IF STABILIZATION OF DISTURBED AREAS IS TO BE ACCOMPLISHED DURING THE MONTHS OF OCTOBER THROUGH APRIL, THE STABILIZATION SHALL CONSIST OF MULCHING SEED AND MULCH AS SOON AS THE SEASON PERMITS.
13. APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES BEFORE REMOVAL OF SEDIMENT CONTROLS.
14. CONTRACTOR SHALL OBTAIN AND CONFORM TO STORMWATER DISCHARGE PERMIT AND ALL ENVIRONMENTAL PERMITS AND KEEP STREETS CLEAN AND FREE OF SEDIMENT.
15. REMOVAL AND CLEANUP OF ANY SEDIMENT THAT LEAVES THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR

FUGITIVE DUST CONTROL

THE CONTRACTOR IS RESPONSIBLE TO CONTROL FUGITIVE DUST AND TO INCORPORATE THE FOLLOWING:

1. ALL UNPAVED ROADS AND OTHER DISTURBED AREAS ON SITE SHALL BE WATERED TO MINIMIZE FUGITIVE DUST.
2. VEHICLE SPEED ON ALL UNPAVED ROADS AND DISTURBED AREAS SHALL NOT EXCEED A MAXIMUM OF 20 MPH. SPEED LIMIT SIGNS SHALL BE POSTED.
3. HAUL ROADS SHALL BE TREATED WITH MAGNESIUM CHLORIDE IF WATER IS NOT CONTROLLING THE DUST.
4. ALL DISTURBED SOIL SHALL BE COMPACTED ON A DAILY BASIS TO WITHIN 90% OF MAXIMUM COMPACTION.
5. ALL DISTURBED SURFACE AREAS SHALL BE REVEGETATED AS SOON AS POSSIBLE.
6. MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE PREVENTED. ANY MUD AND DIRT CARRYOUT ONTO PAVED SURFACES SHALL BE CLEANED UP DAILY.
7. NO EARTH WORK ACTIVITIES SHALL BE PERFORMED WHEN THE WIND SPEED EXCEEDS 30 MPH.



Nelson-Tremain Partnership
ARCHITECTURE AND DESIGN FOR AGING
in association with
Snowdon and Hopkins - Architects, PC

Project:
CASTLE PEAK SENIOR CARE COMMUNITY
EAGLE, CO

Lots 2, 3, and 4
Eagle Ranch File No. 26
Major Development Plan
Town of Eagle, CO
April 1, 2014

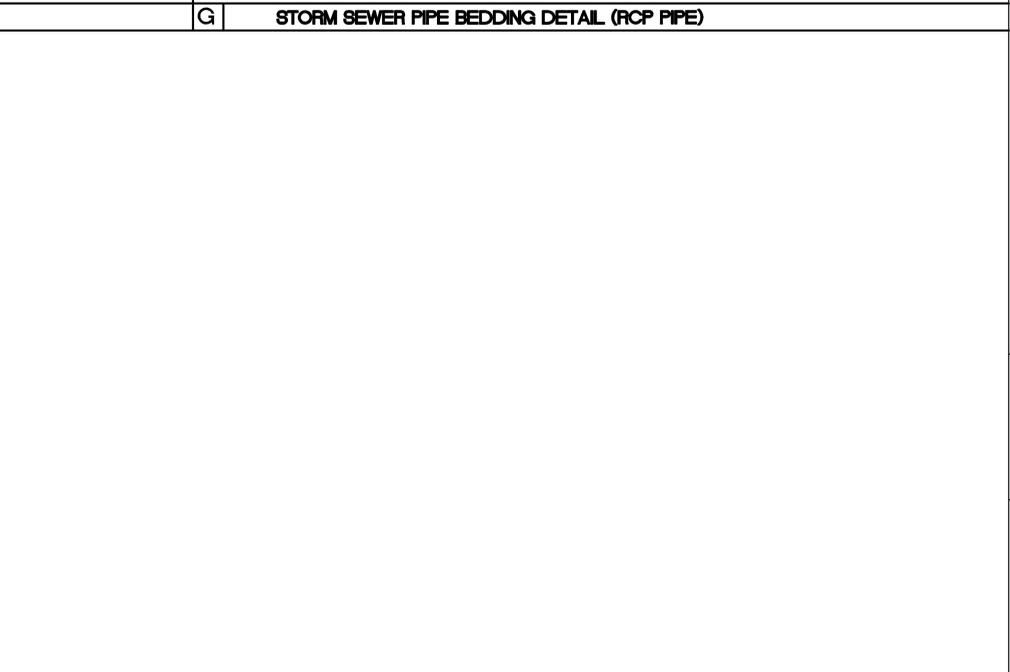
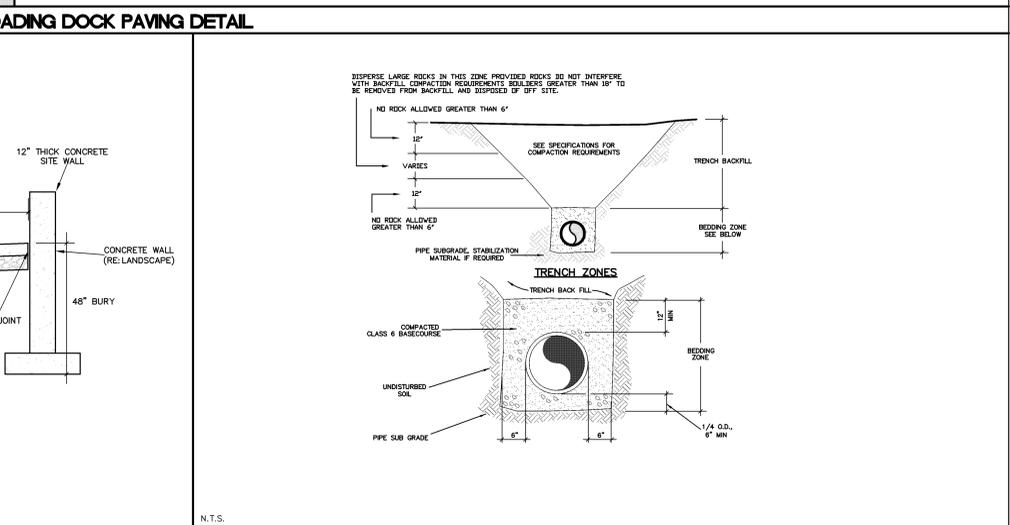
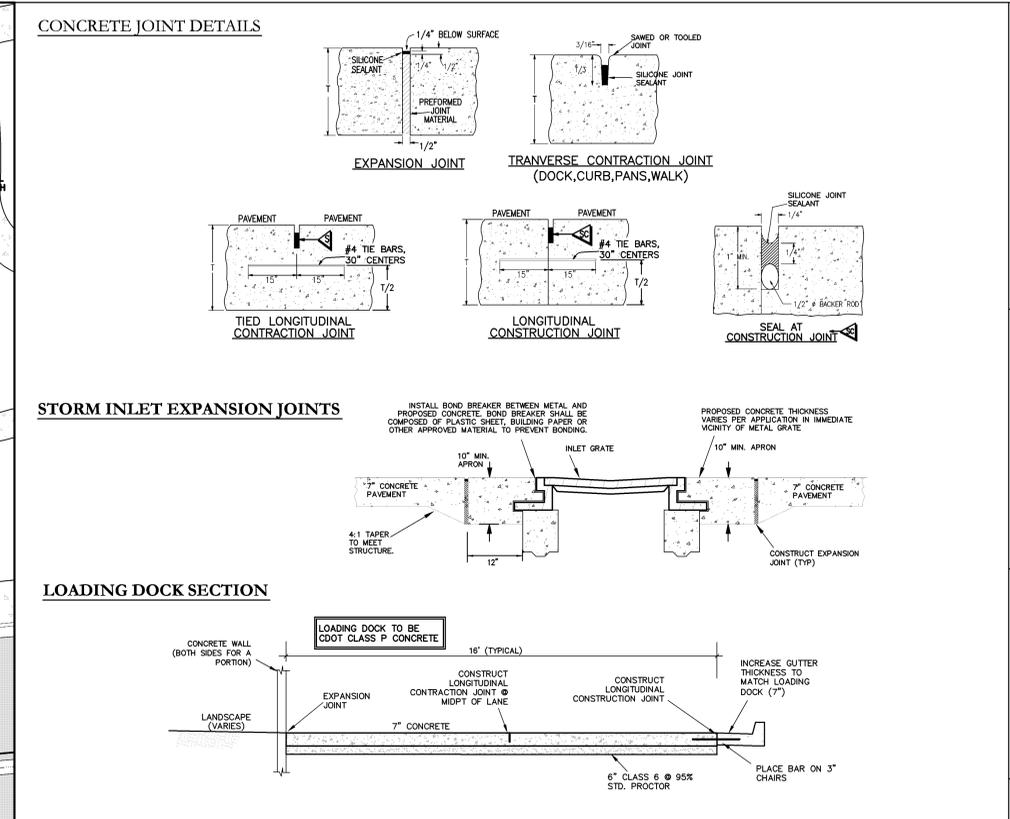
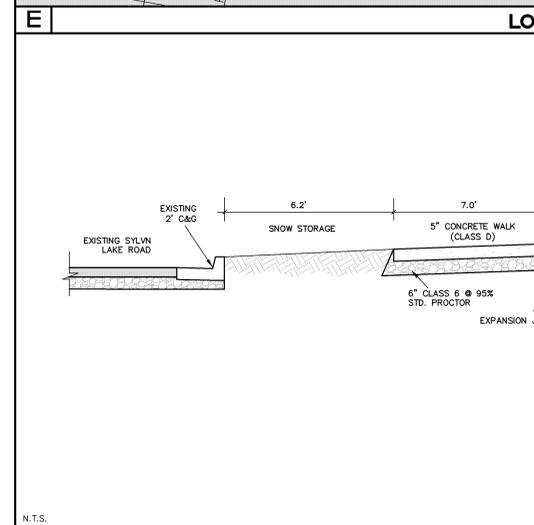
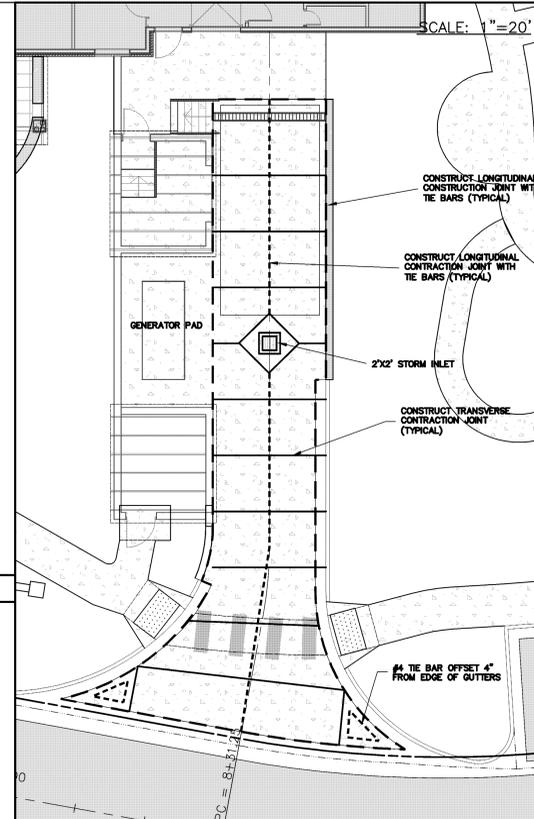
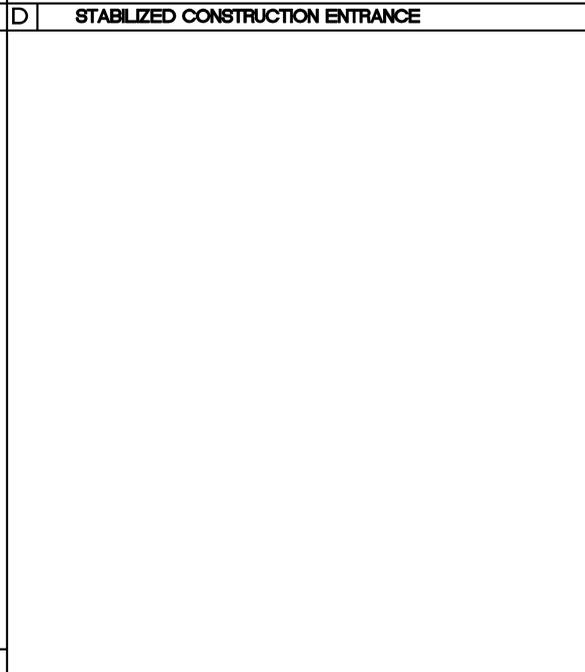
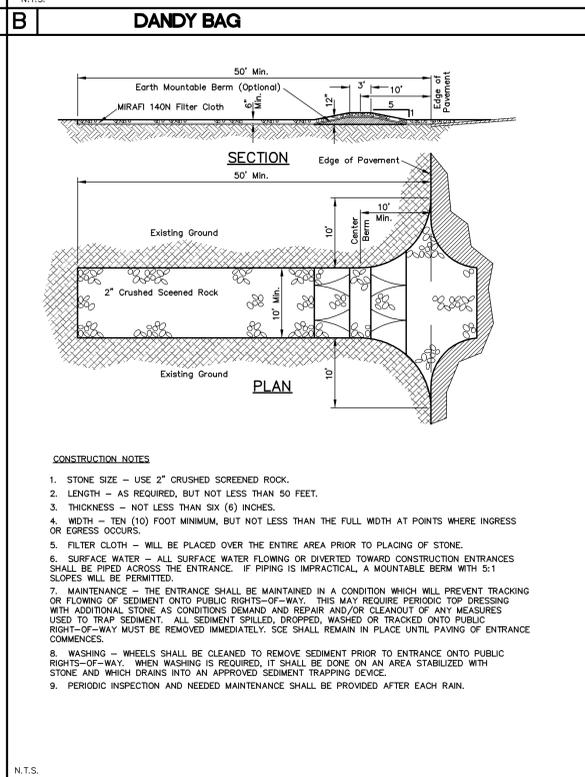
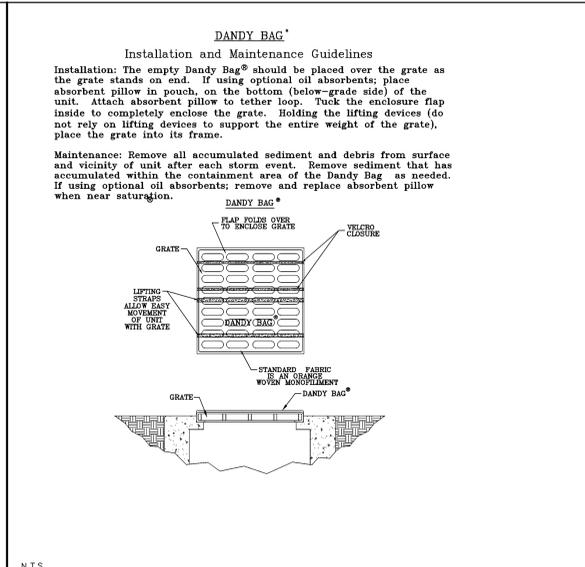
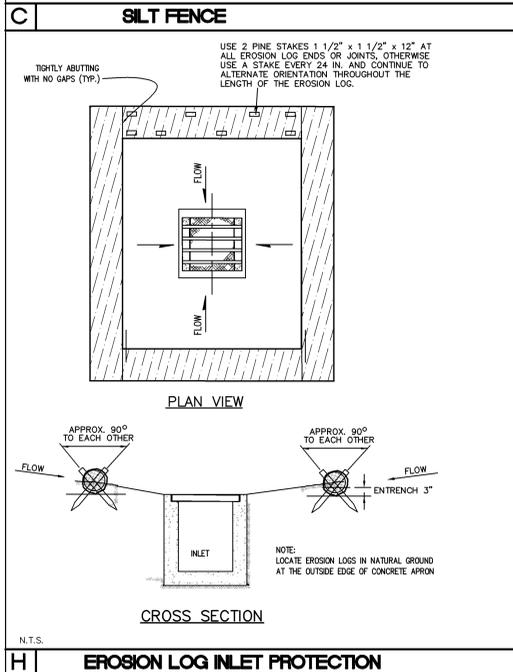
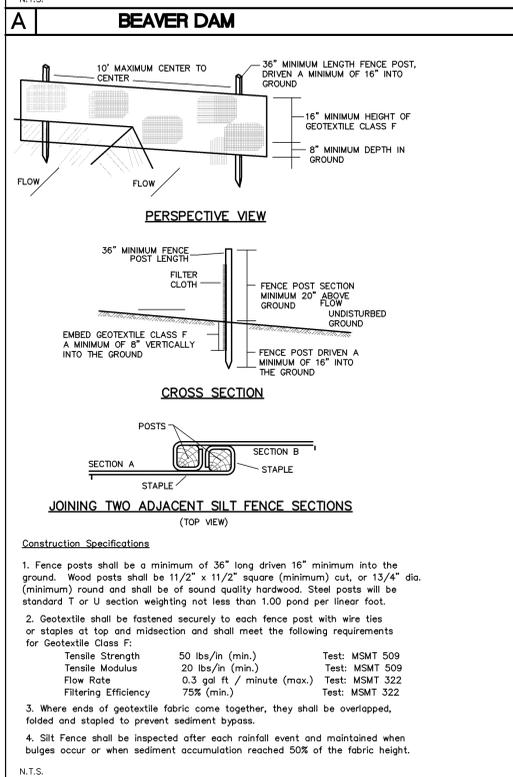
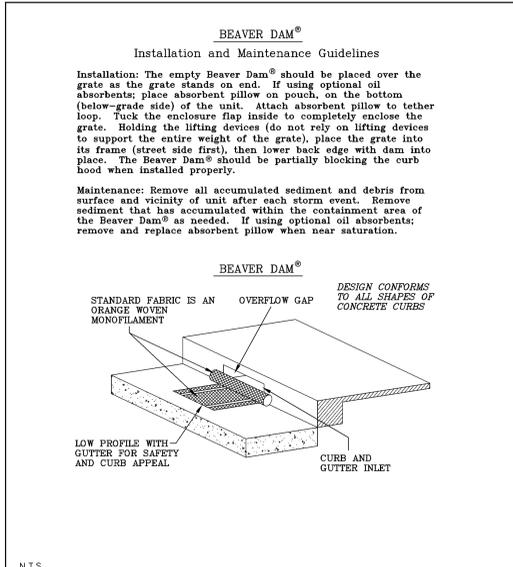
ALPINE AEI
ENGINEERING INC.
EDWARDS BUSINESS CENTER
3450 US HIGHWAY 6, UNIT A6
P.O. BOX 97 • EDWARDS, CO 81632
• PH: (970) 926-3373 • FX: (970) 926-3350 •

(SEAL)

SEDIMENT AND EROSION CONTROL PLAN

C1.05

P:\1002001\DWG\SSR\CDRC\COMMON\WORK\EROSION CONTROL.dwg, 3/31/2014 11:12:30 AM, Wsherry



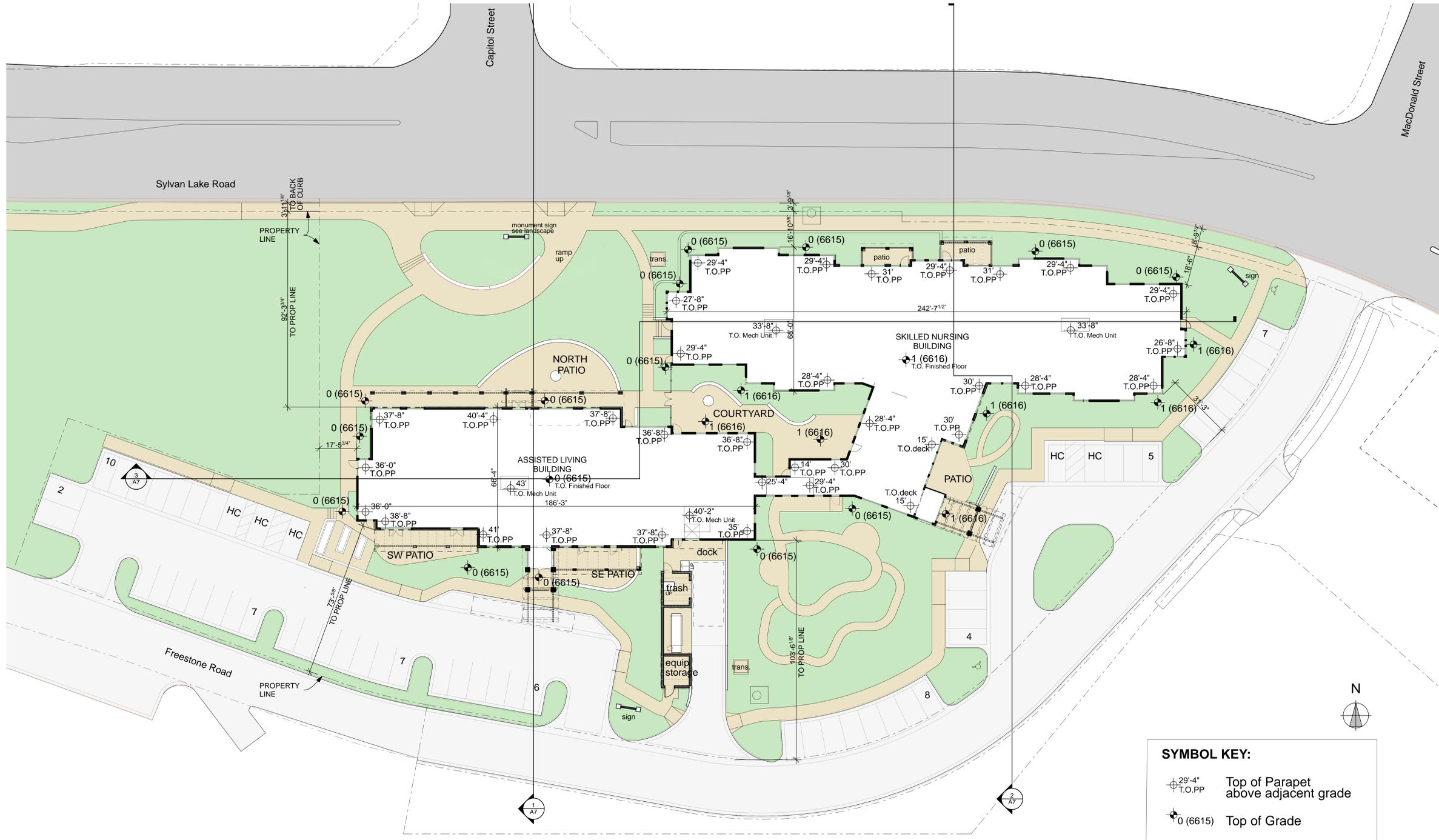
Nelson-Tremain Partnership
ARCHITECTURE AND DESIGN FOR AGING
in association with
Snowdon and Hopkins - Architects, PC

Project:
CASTLE PEAK SENIOR CARE COMMUNITY
EAGLE, CO

Lots 2, 3, and 4
Eagle Ranch Filing No. 26
Major Development Plan
Town of Eagle, CO
April 1, 2014

ALPINE AEI ENGINEERING INC.
EDWARDS BUSINESS CENTER
3450 US HIGHWAY 6, UNIT A2
P.O. BOX 87 • EDWARDS, CO 81622
• PH: (970) 928-3373 • FX: (970) 928-3390 •

(SEAL)



SYMBOL KEY:

- $\oplus_{29'-4"}^{T.O.P.P.}$ Top of Parapet above adjacent grade
- $\bullet_{0(6615)}$ Top of Grade



1" = 20'

1

SITE PLAN

DEVELOPMENT DATA:

Zoning: Eagle Ranch PUD, Neighborhood Center: Senior Care Uses

Minimum Building Setback Requirements: Senior Care Uses on Lots 2, 3 and 4, Filing 26 have no minimum setback requirements except as may be necessary to accommodate utilities, drainage, access, fire and building code regulations.

Maximum Building Height: Two Stories, with the Assisted Living & Commons limited to not more than three stories and not to exceed a height of 50 feet.
 33'-8" proposed maximum building height Skilled Nursing (Top of Top Mechanical Unit from adjacent grade)
 43'-0" proposed maximum building height Assisted Living (Top of Top Mechanical Unit from adjacent grade)

Maximum Lot Coverage: Building: 80 % maximum, 27% proposed (Lot 2, Filing 27) All impervious materials: 100% maximum, 62% proposed

Maximum Density: 150,000 gross square feet (Lots 2, 3 and 4, Filing 26) of senior care uses, or 75 residential dwelling units, or any combination as permitted by the Fourth Amended PUD Guide for Eagle Ranch Planned Unit Development. Proposed Density: 63,447 gross square feet.

BUILDING SIZE:

Gross Square Feet (GSF) -

Assisted Living Facility	
1st floor	11,245 GSF
2nd floor	10,388 GSF
3rd floor	8,632 GSF
total GROSS	30,042 GSF Assisted Living
Skilled Nursing Facility	
1st floor	17,279 GSF
2nd floor	15,903 GSF
total GROSS	33,182 GSF Nursing
Total Building Areas:	
Assisted Living Facility:	30,265 GSF
Skilled Nursing Facility:	33,182 GSF
total GROSS	63,447 GSF

PARKING:

Skilled Nursing:	
1 per 4 beds (44 beds)	= 11
1 per 3 FTE (47 employees)	= 15.67
1 per PT/FT Doctor	= 1
Assisted Living:	
1 per 3 DU (20 units)	= 6.67
1 per 3 FTE (17 employees)	= 5.67
1 per 6 DU visitors	= 3.33
Total Parking required	= 43.34
Total Parking provided	= 56
Accessible (1 per 40 spaces required)	= 2
Total Accessible (HC) provided	= 5

UNIT TYPES:

Assisted Living (AL)	
Ground Level Commons	
Second Floor	10 units (2 2bd, 6 1bd, 2 st)
Third Floor	10 units (2 2bd, 6 1bd, 2 st)
Total AL units =	20 units
Skilled Nursing (SNF)	
10 Transitional Care Suites (TCU)	10 patients
12 Memory Care Suites (MC)	12 residents
22 Traditional Nursing Beds (SNF)	22 residents
Total Skilled Nursing =	44 occupants

SITE PLAN

Sheet Number:

A1



FIRST FLOOR - presentation



1/16" = 1'-0"



FIRST FLOOR
 PLAN

Sheet Number:

A2

Project:

CASTLE PEAK
SENIOR CARE
COMMUNITY

EAGLE, CO

Lots 2, 3, and 4
Eagle Ranch Filing No. 26
Major Development Plan
Town of Eagle, CO
April 1, 2014



SECOND FLOOR PLAN



1/16" = 1'-0"



1



THIRD FLOOR PLAN



1/16" = 1'-0"



2

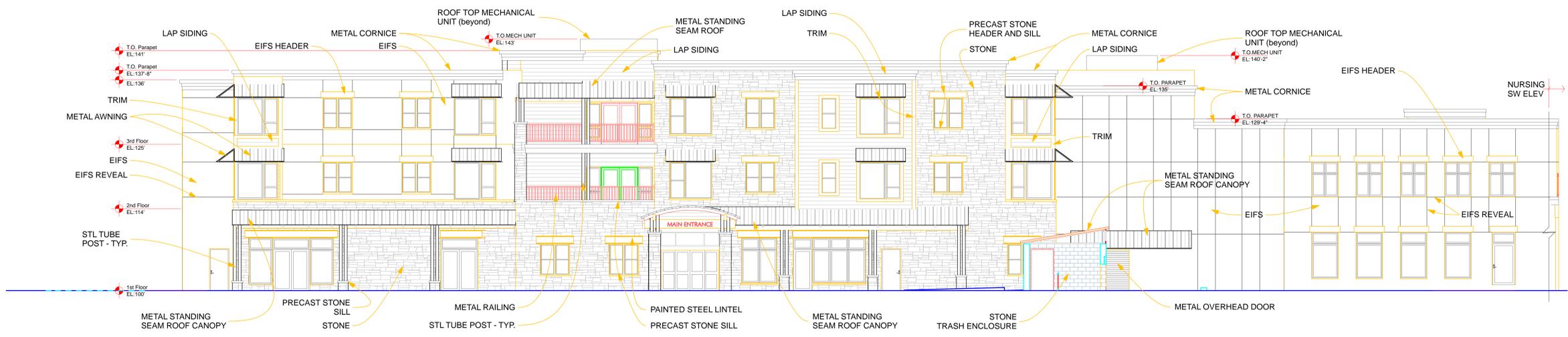
UPPER FLOOR PLANS

Sheet Number:

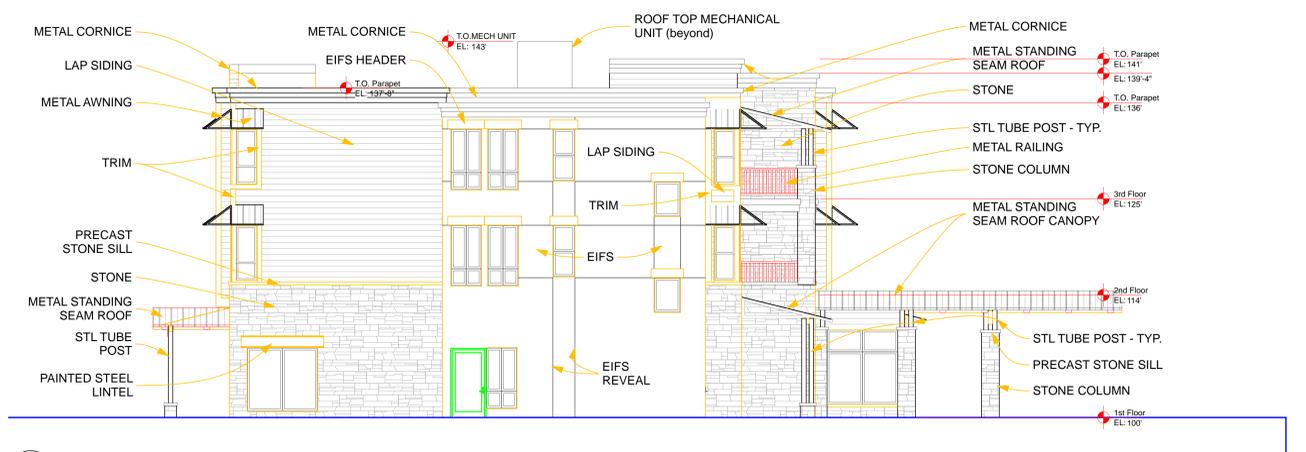
A3



1 NORTH ELEVATION @ ALF
 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION @ ALF
 SCALE: 1/8" = 1'-0"

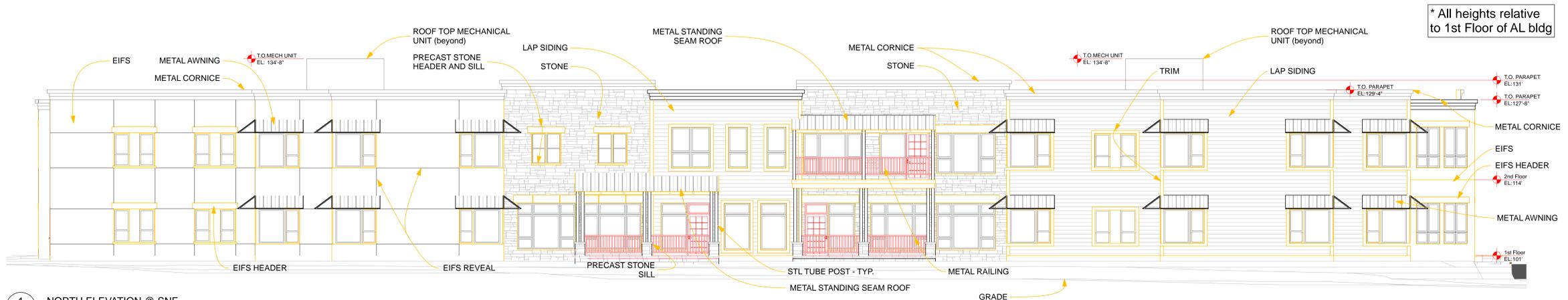


3 WEST ELEVATION @ ALF
 SCALE: 1/8" = 1'-0"

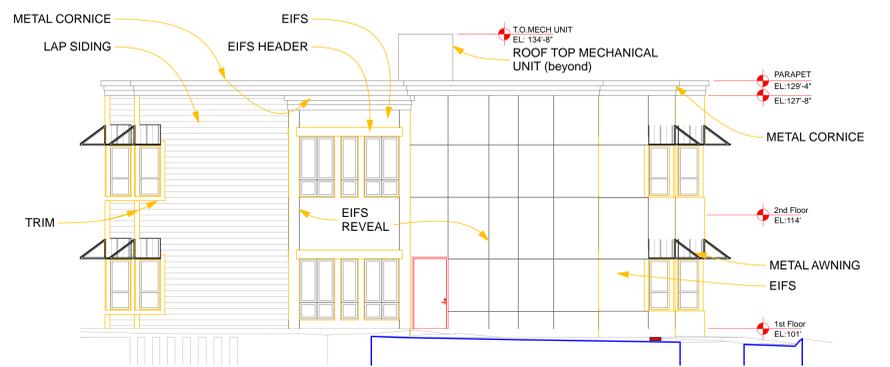
ELEVATIONS - ASSISTED LIVING

Sheet Number:

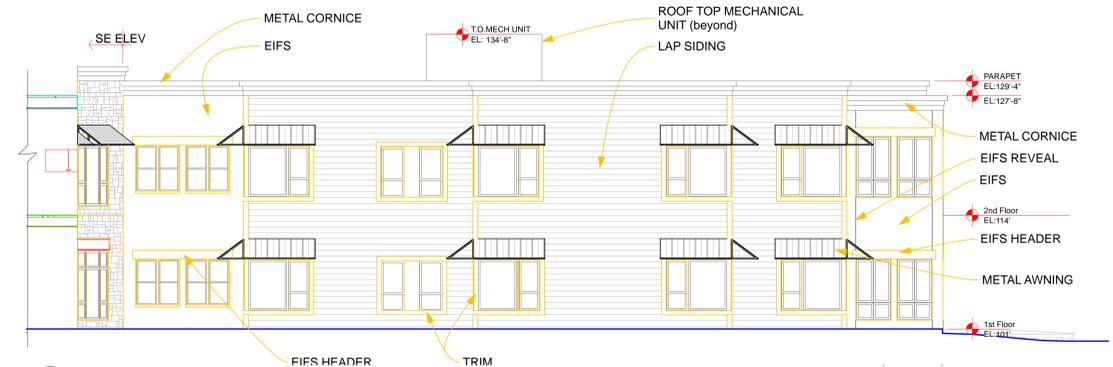
A4



1 NORTH ELEVATION @ SNF
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION @ SNF
 SCALE: 1/8" = 1'-0"



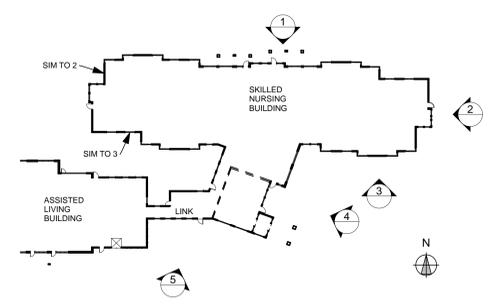
3 SOUTH ELEVATION @ SNF
 SCALE: 1/8" = 1'-0"



4 SE ELEVATION @ TCU ENTRY
 SCALE: 1/8" = 1'-0"



5 SW ELEVATION @ TCU ENTRY
 SCALE: 1/8" = 1'-0"



KEYPLAN



1 NW aerial view from Sylvan Lake Road



2 view from Sylvan Lake Road (NW looking SE)



3 view from SW to Assisted Living entry (SW looming NE)



4 view from SE to Nursing entry (SE looking NW)

PERSPECTIVE
 VIEWS

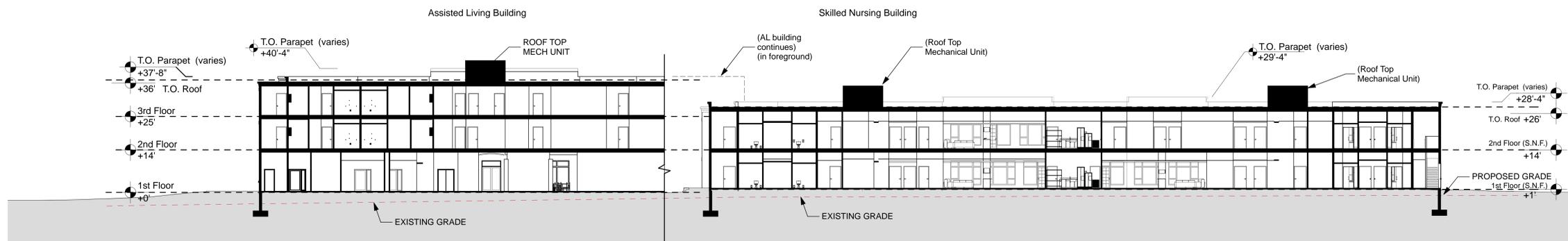
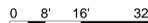
Sheet Number:



1 Site Section @ Assisted Living Facility
 SCALE: 1/16" = 1'-0"



2 Site Section @ SNF
 SCALE: 1/16" = 1'-0"

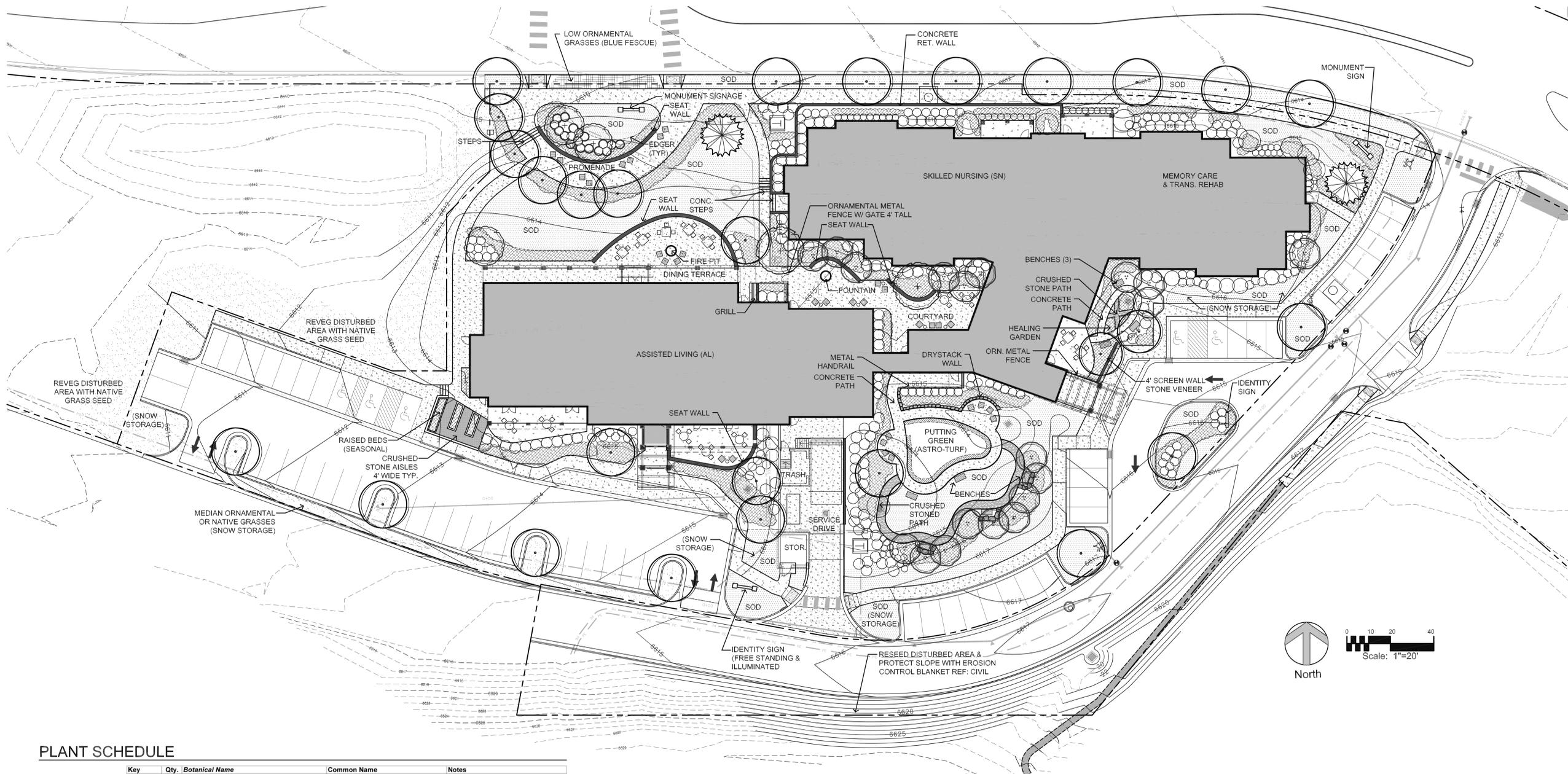


3 Longitudinal Site Section
 SCALE: 1/16" = 1'-0"



**BUILDING
 SECTIONS**

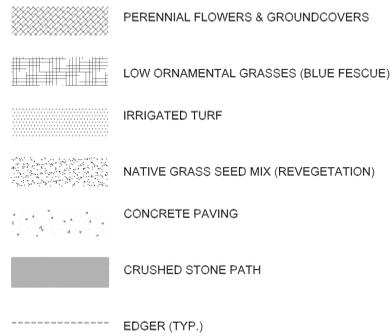
Sheet Number:



PLANT SCHEDULE

Key	Qty.	Botanical Name	Common Name	Notes
Street Trees (Deciduous)				
GL-S	12	<i>Gleditsia triacanthos inermis</i> 'Shademaster'	Shademaster Honeylocust	Sylvan L. Road & parking islands
Shade Trees (Deciduous)				
GL-I	5	<i>Gleditsia triacanthos inermis</i> 'Imperial'	Imperial Honeylocust	Promenade
SOR	2	<i>Sorbus aucuparia</i> 'Cardinal Royal'	Cardinal Royal Mountain Ash	Dining terrace
ACR	4	<i>Acer negundo</i> 'Sensation'	Sensation Boxelder	South entries AL & SN
Ornamental Trees (Deciduous)				
ALN	2	<i>Alnus incana tenuifolia</i>	Thinleaf Alder	multi-stemmed; courtyard
CRA	1	<i>Crataegus douglasii</i>	White flowers; SN arrival	
MAL-R	2	<i>Malus</i> 'Radiant'	Radiant Crabapple	Deep pink flowers; healing garden
MAL-SS	4	<i>Malus</i> 'Spring Snow'	White-Flowering Crabapple	White flowers; AL entry & promenade
POP	19	<i>Populus tremuloides</i>	Aspen	10 multi-stemmed
Evergreen Trees				
PIC	2	<i>Picea pungens</i> 'Bakeri'	Bakeri Spruce	10' B&B; 35-40' x 15-20'W
Shrubs - all 5 gal. except where noted				
ACR-G	5	<i>Acer ginnala</i> 'Bailey Compact'	Dwarf Amur Maple	6-8' T x 6-8' W
AML	7	<i>Amelanchier alnifolia</i> 'Standing Ovation'	Saskatoon Serviceberry	12-15' T x 3-4' W cultivar
ARO	37	<i>Aronia melanocarpa</i> 'Iniquis Beauty'	Dwarf Chokeberry	North side SN; wine red fall color
ARO-A	8	<i>Aronia arbutifolia</i> 'Brilliantissima'	Brilliant Red Chokeberry	6-8' T x 4-5' W
BUD	5	<i>Buddleja davidii</i> 'Adonis Blue'	Compact Dk Blue Butterfly Bush	4-5' T x 4-5' W; violet flowers
COR-A	17	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	3-4' T
COR	28	<i>Cornus sericea</i> 'Isanti'	Isanti Dogwood	4-5' T
COR-V	3	<i>Cornus alba</i> 'Argenteomarginata'	Variiegated Dogwood	6-8' T
COT	9	<i>Cotoneaster dammeri</i> 'Coral Beauty'	Coral Beauty Cotoneaster	1-2' T x 4-6' W
COT-H	18	<i>Cotoneaster horizontalis</i>	Rock Cotoneaster	semi-evergreen; 2-3' T x 3-6' W
COT-L	7	<i>Cotoneaster lucidus</i>	Peking Cotoneaster	
FOR	3	<i>Forsythia</i> 'Sunrise'	Sunrise Forsythia	
JUN	21	<i>Juniperus communis</i> 'Effusa'	Effusa Juniper	shade-tolerant; or subst. J. sabina
POT	9	<i>Potentilla fruticosa</i> 'Gold Finger'	Gold Finger Potentilla	Yellow flowers all summer
PRU	8	<i>Prunus virginiana</i> 'melanocarpa'	Native Chokecherry	7' B&B clump
PRU-B	3	<i>Prunus besseyi</i>	Western Sand Cherry	4-6' T x 4-6' W
RHF	4	<i>Rhamnus frangula</i> 'Columnaris'	Tall Buckthorn	8-12' T x 3-4' W
RHU	14	<i>Rhus trilobata</i>	Three-Leaf Sumac	3-5' T x 3-5' W; glossy dark green
RHU-A	5	<i>Rhus aromatica</i> 'Gro-Low'	Dwarf Fragrant Sumac	2-3' T x 6-8' W spreading form
RIB	21	<i>Ribes alpinum</i>	Alpine Currant	3-6' T x 3-6' W
ROS	11	<i>Rosa</i> 'Morden Blush, Sunrise, & Centennial'	Morden Roses	Pink and orange varieties
SPI	8	<i>Spiraea japonica</i> 'Froebelii'	Froebel Spirea	3-4' T x 2-4' W
SPI-N	4	<i>Spiraea nipponica</i> 'Snowmound'	Snowmound Spirea	White flowers;
SYM-O	5	<i>Symphoricarpos orbiculatus</i>	Red Coralberry	3-5' T x 3-5' W
SYR	19	<i>Syringa vulgaris</i> 'Sensation'	Purple/White Lilac	8-10' T x 8-10' W; may mix varieties
VIB-C	19	<i>Viburnum carlesii</i>	Koreanspice Viburnum	Spicy aroma; 4-5' T x 4-5' W
VIB-D	13	<i>Viburnum dentatum</i> 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	4-5' T x 3-4' W
VIB-M	6	<i>Viburnum lantana</i> 'Mohican'	Mohican Wayfaring Tree	6-8' T x 6-8' W
VIB-T	5	<i>Viburnum trilobum</i> 'Bailey Compact'	Compact American Cranberrybush	4-5' T x 4-5' W

LANDSCAPE LEGEND



DETAIL/MATERIAL LEGEND

- 1.0 PAVING**
 - 1.1 CONCRETE PAVING
 - 1.2 CRUSHER FINE PATH
 - 1.3 DONOR PAVER INSET
- 2.0 WALLS AND STEPS**
 - 2.1 DRYSTACK ROCK WALL
 - 2.2 CONCRETE WALL
 - 2.3 HEALING GARDEN: 4' SCREEN WALL, STONE VENEER
 - 2.4 STEPS
 - 2.5 TYP. BOULDERS
- 3.0 SITE FURNISHING/ SITE ELEMENTS**
 - 3.1 FIRE PIT
 - 3.2 GRILL
 - 3.3 COURTYARD FOUNTAIN
 - 3.4 ORNAMENTAL METAL FENCE W/ GATE 4' HT
 - 3.5 BENCHES
 - 3.6 TABLES & CHAIRS
 - 3.7 RAISED PLANTER BEDS (TIMBER)
 - 3.8 METAL HANDRAIL
 - 3.9 ASTRO-TURF PUTTING GREEN
- 4.0 SIGNAGE/ LIGHTING**
 - 4.1 IDENTITY / MONUMENT SIGN

LANDSCAPE NOTES

- 1. SITE COVERAGE:** Refer to Architect's cover sheet for percentages of building coverage, impervious surfaces, hardscaped areas and landscaping.
- 2. LANDSCAPE MAINTENANCE:** Augustana Care, the operator of Castle Peak Senior Care Community, will be responsible for maintenance of landscaping and the irrigation system.
- 3. IRRIGATION:** Except for native revegetation areas, the entire site will be served by an underground sprinkler system using municipal water. Perennial beds and sodded areas will be spray-irrigated. All new trees and shrubs will be irrigated at a schedule consistent with individual species requirements; where feasible, some of these may be drip-irrigated rather than sprayed. All seeded areas will receive temporary irrigation until established. The irrigation system will include an automatic clock with an integrated rain sensor/shut-off.
- 4. PLANTING FOR WATER CONSERVATION:** The recommended sod is "Ecoloturf", a fine fescue/bluegrass mixture that is drought and shade tolerant. Except in limited north-facing areas, which will tend to have higher moisture levels, all trees, shrubs, perennials, and groundcovers will be native or adapted to this climate and either xeric or drought-tolerant.
- 5. MULCH:** For water conservation, all herbaceous planting beds shall be top-dressed with 1" of extra-fine shredded hardwood bark mulch. All shrub beds and tree wells shall receive a minimum 3" of extra-fine shredded hardwood bark mulch.
- 6. SEEDING:** All areas disturbed by construction staging are to be regraded as necessary to return the site to a natural appearance, then hydroseeded with a dry native mountain grass seed mix available from Pawnee Buttes Seed Co. (or an equivalent approved by Landscape Architect).
- 7. SLOPE STABILIZATION:** Erosion control blanket is to be applied to slopes of 2:1 gradient or steeper. (Refer to Civil Engineer's grading plan.)
- 8. TEMPORARY EROSION CONTROL:** Best management practices are to be implemented for erosion control during landscape installation, including hay bales, silt fencing and detention areas to minimize sediment-laden run-off. (Refer to Civil Engineer's construction staging plan.)
- 9. EDGER:** Metal edger shall be installed wherever sod meets perennial or shrub planting beds.

Sheet Title:
LANDSCAPE PLAN

Sheet Number:
L1.0



Nelson-Tremain Partnership
ARCHITECTURE AND DESIGN FOR AGING

in association with
Snowdon and Hopkins • Architects, PC

Project:

CASTLE PEAK
SENIOR CARE
COMMUNITY

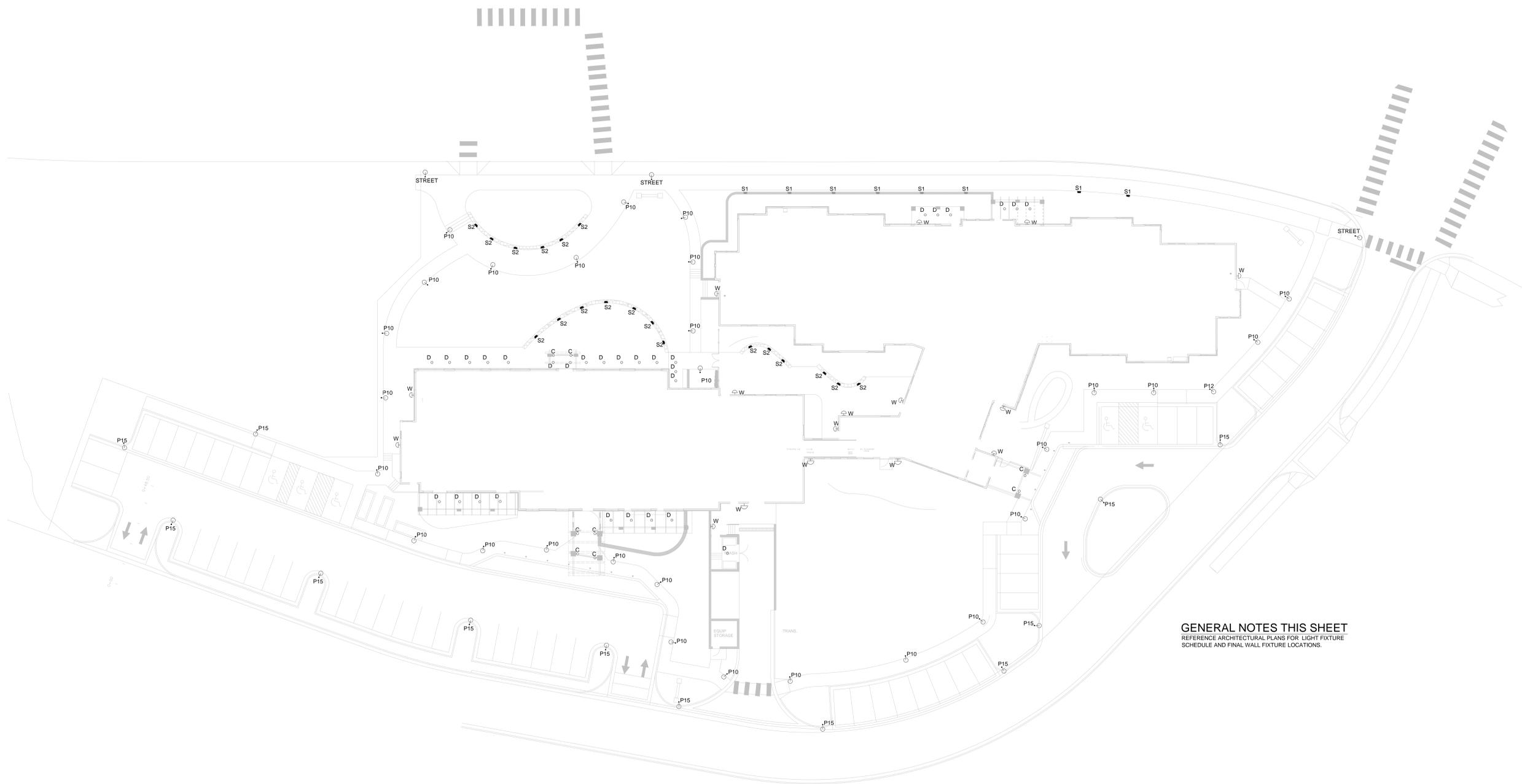
EAGLE, CO

Lots 2, 3, and 4
Eagle Ranch Filing No. 26
Major Development Plan

Town of Eagle, CO
April 1, 2014



40801 US Hwy 6 & 24, Ste 214, Avon, CO 81620
Mailing address: P.O. Box 8489, Avon, CO 81620
Telephone: 970-748-8520 Fax: 970-748-8521
www.aec-vail.com



GENERAL NOTES THIS SHEET
REFERENCE ARCHITECTURAL PLANS FOR LIGHT FIXTURE
SCHEDULE AND FINAL WALL FIXTURE LOCATIONS.

EXTERIOR LIGHTING PLAN

SCALE: 1"=20'-0"



EXTERIOR LIGHTING PLAN

Sheet Number:

E1



Nelson-Tremain Partnership
ARCHITECTURE AND DESIGN FOR AGING

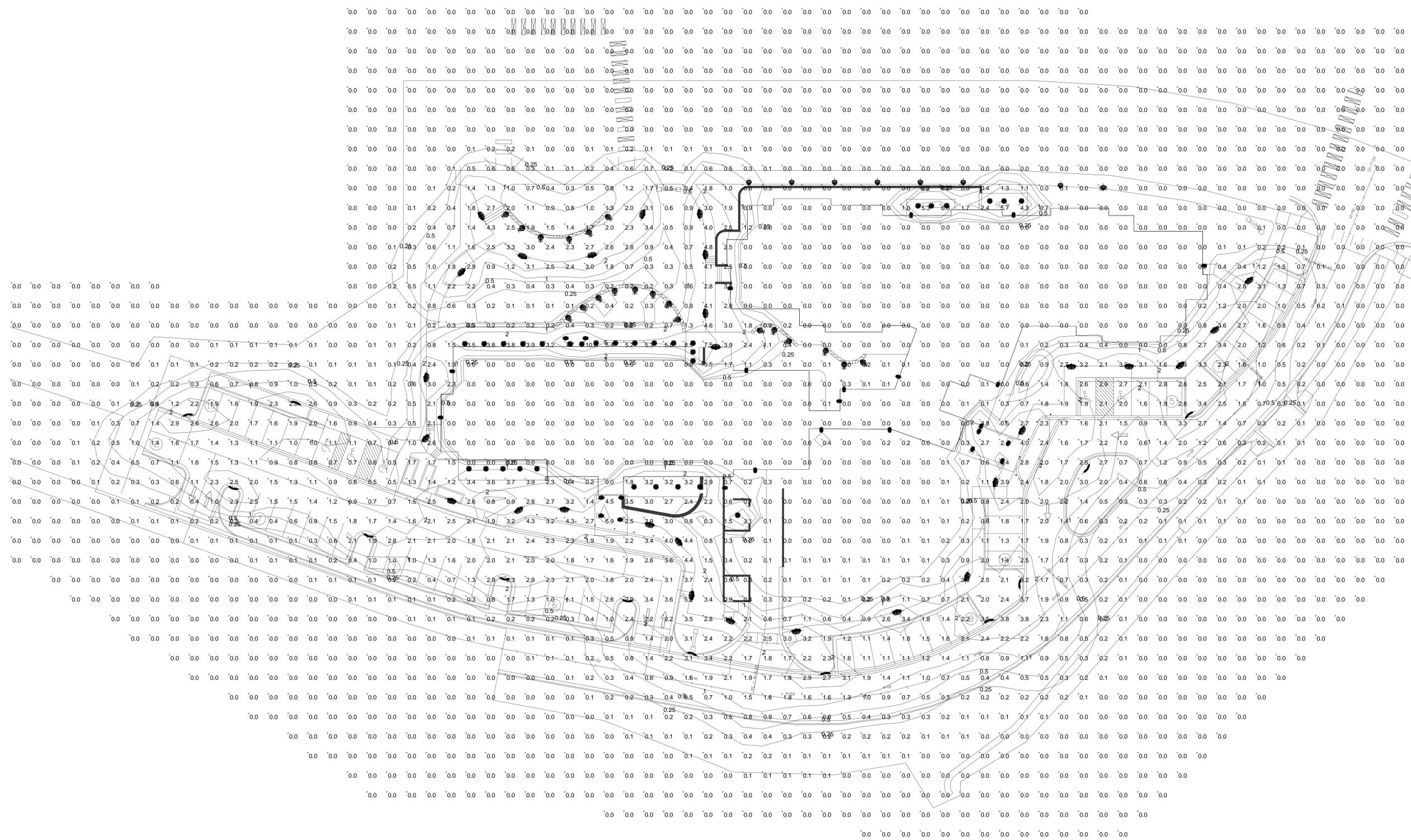
in association with
Snowdon and Hopkins • Architects, PC

Project:
CASTLE PEAK SENIOR CARE COMMUNITY
EAGLE, CO

Lots 2, 3, and 4
Eagle Ranch Filing No. 26
Major Development Plan
Town of Eagle, CO
April 1, 2014



40801 US Hwy 6 & 24, Ste 214, Avon, CO 81620
Mailing address: P.O. Box 8489, Avon, CO 81620
Telephone: 970-748-8520 Fax: 970-748-8521
www.aec-vail.com



EXTERIOR LIGHTING POINT BY POINT



SCALE: 1"=20'-0"

EXTERIOR LIGHTING - POINT BY POINT

Sheet Number:

E2

Section III: Proposed Filing 27 Plat

Section IV: Phasing Schedule

Approval of the development plan will result in construction of this first phase of the Castle Peak Senior Care Community, planned to begin in 2014.

No plans for future phases have been developed, but may include an expansion of senior care uses, residential uses or a combination of both consistent with the development standards of the Eagle Ranch PUD.

Section V: Development Impact Report & Project Compatibility with Town Goals and Policies

On February 12, 2013, the Town Board of Trustees approved the site development standards and uses proposed for the Castle Peak Senior Care Community Project as submitted.

The proposed Development Plan is consistent with the *Fourth Amended PUD Guide for Eagle Ranch Planned Unit Development*, recorded June 26, 2013, and with the efficient development of the entire PUD and does not substantially affect the enjoyment of land abutting the PUD.

Development Impact Report

In accordance with Section 4.06.030 of the Land Use and Development Code, the applicant is required to identify any potential environmental, socioeconomic and utility impacts of the proposed development through submittal of a Development Impact Report.

The following Development Impact Report criteria were reviewed and approved by the Town of Eagle as part of the *Fourth Amended PUD Guide For Eagle Ranch Planned Unit Development*, recorded June 26, 2013, and this development plan is consistent with the criteria as follows:

1. By altering an ecological unit or landform, such as a ridgeline, saddle, draw, ravine, hillside, cliff, slope, creek, marsh, watercourse, or other natural land form feature.

Applicant Response: The project will not alter an ecological unit as described; the project is on land already zoned and prepared for development and this general evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

2. By directly or indirectly affecting a wildlife habitat, feeding or nesting ground.

Applicant Response: The project will not directly or indirectly affect a wildlife habitat, feeding or nesting ground as described; the project is on land already zoned and prepared for development and this evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

3. By substantially altering or removing native grasses, trees, shrubs or other vegetative cover.

Applicant Response: The project will not substantially alter or remove native grasses, trees, shrubs or other vegetative cover as described; the project is on land already zoned and prepared for development and this evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

4. By affecting the appearance or character of a significant scenic area or resource, or involving buildings or other structures that are of a size, bulk or scale that would be in marked contrast to natural or existing cultural features.

Applicant Response: The project will not affect the appearance or character of a significant scenic area or resource, nor will it be in marked contrast to natural or existing cultural features as described; the project is on land not identified as a scenic area, view shed or established Town gateway. The parcel is already zoned and prepared for development, and the building will be consistent with the purpose of the Neighborhood Center zone district of the Eagle Ranch PUD in addition to development permit approval by the Town. This evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD and Fourth Amended PUD Guide For Eagle Ranch Planned Unit Development, recorded June 26, 2013.

5. By potentially resulting in avalanche, landslide, siltation, settlement, flood or other landform change of hazard to health and safety.

Applicant Response: The project will not result in any increase land form change or risk to health and safety; recommendation of the soils and structural engineers will be employed as a part of the design and permitting process; This evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

6. By discharging toxic or thermally abnormal substance or involving use of herbicides or pesticides, or emitting smoke, gas, steam, dust or other particulate matter.

Applicant Response: The project will not result in any discharge of toxic or abnormal materials or substances, including smoke, gas, steam dust or other particulate matter; The Castle Peak Senior Care Community will operate as a senior care facility compliant with all State requirements regarding any medical waste disposal. The use is consistent those approved for the Neighborhood

Center area of Eagle Ranch; this evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

7. By involving any process which results in odor that may be objectionable or damaging.

Applicant Response: The project will not result in any process which results in odor that may be objectionable or damaging. The use is consistent those approved for the Neighborhood Center area of Eagle Ranch; this evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

8. By requiring any waste treatment, cooling, or settlement pond, or requiring transportation of solid or liquid wastes to a treatment or disposal site.

Applicant Response: The project will not require any new waste treatment or transportation not anticipated in the approval of the Eagle Ranch PUD. The use is consistent those approved for the Neighborhood Center; waste will be handled in accordance with infrastructure already approved and available to service uses of the property; this evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

9. By discharging significant volumes of solid or liquid wastes.

Applicant Response: The project will not discharge significant volumes of solid or liquid waste not anticipated in the approval of the Eagle Ranch PUD; this evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

10. By increasing the demand on existing or planned sewage disposal, storm drainage, water distribution system, streets, or other utility systems to a level which is likely to cause an adverse impact on the environment.

Applicant Response: The project will not increase demand on existing or planned sewage systems, storm drainage, water distribution systems, street or other utility systems to a level which is likely to cause and adverse impact on the environment; recent fire flow testing has confirmed that adequate flow rates exist to serve the project. This evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD and Fourth Amended PUD Guide For Eagle Ranch Planned Unit Development, recorded June 26, 2013.

11. By involving any process which generates noise that may be offensive or damaging.

Applicant Response: The project will not generate noise that may be offensive and damaging, as it includes currently approved uses of the Neighborhood Center area of Eagle Ranch. This evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD and Fourth Amended PUD Guide For Eagle Ranch Planned Unit Development, recorded June 26, 2013.

12. By either displacing significant numbers of people or resulting in a significant increase in population.

Applicant Response: The project will not displace significant numbers of people (the land is currently vacant) or result in a significant increase in population; The Castle Peak Senior Care Community will provide senior care uses for the current and future senior population in Eagle County where they would otherwise normally be displaced to areas with existing senior care centers.

13. By pre-empting a site which is desirable for recreational uses or planned open space.

Applicant Response: The project will not pre-empt a site which is desirable for recreational uses or planned open space; the site is fully developable and uses proposed are consistent with existing zoning; open space dedication requirements were handled by the original approval of the Eagle Ranch PUD.

14. By altering local traffic patterns or causing an increase in traffic volume or transit service need.

Applicant Response: According to a study of trip generation of total build out of the project, the Castle Peak facility will generate less traffic than equivalent residential units at all times, except for the 7 to 9 am entering movement that shows a slight (25%) increase in residential volume for that limited time. An assessment of the ITE trip generation was provided and approved as part of the Fourth Amended PUD Guide For Eagle Ranch Planned Unit Development, recorded June 26, 2013.

15. By substantially affecting the revenues or expenditures of the Town government.

Applicant Response: As proposed, the Castle Peak project will positively impact the revenues of the Town of Eagle in several ways by generating a permanent stable revenue stream. Over 60 permanent full-time jobs will be created to serve the Phase I needs of the project.

16. By increasing the demand on existing or planned school facilities to a level which is likely to cause and adverse impact on such school facilities, an adverse impact on educational opportunities, or an adverse impact on the revenues and expenditures of the Eagle County School District RE-50J.

Applicant Response: The project will not increase demand on school facilities; the uses and residential density are consistent with the approved Eagle Ranch PUD and school dedications approved at that time; potential intergenerational activities have been identified by the applicant in early discussions with Brush Creek Elementary School staff; This evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD.

17. By being a part of a larger project which, at any future stage, may involve any of the impacts listed above.

Applicant Response: The project is part of the larger Eagle Ranch PUD, however as evidenced in this section, no new impacts are expected as a result of its development; This evaluation of impacts and suitability was confirmed as part of the original approval of the Eagle Ranch PUD and the Fourth Amended PUD Guide For Eagle Ranch Planned Unit Development, recorded June 26, 2013.

Project Compatibility with Town Goals and Policies

The project is also consistent and compatible with Town goals and policies, including those of the Eagle Area Community Plan as adopted in 2010:

Land Use Policy 1.1: Use the goals, policies, principles, implementation strategies, resource maps and future land use designations of the Eagle Area Community Plan in the evaluation of new land use proposals.

Land Use Policy 2.2: New development should be compact, pedestrian friendly and located within or adjacent to existing development to minimize infrastructure and service needs.

- c. Work to amend regulatory barriers that prevent the intensification of development in identified areas already served by Town infrastructure.

- e. Utilize incentives including public-private partnerships, density bonuses and modification of development requirements to encourage infill and redevelopment.
- f. Ensure residential infill and redevelopment outcomes blend appropriately with the character and scale of surrounding neighborhoods.

Land Use Policy 6.1: Promote vertical mixed use, horizontal mixed use or a combination of mixed-use patterns in appropriate areas within the Town's Urban Growth Boundary.

Community Design Policy 1.3: Work to maintain and enhance the sense of community in the Eagle area.

- c. Design public gathering areas to accommodate activities consistent with their intended use. Differentiate areas suitable for small-scale neighborhood activities and events from those suitable to support larger community activities and events.

Housing Policy 1.1: Support and contribute to efforts to address needs for affordable housing.

- e. Collaborate with Eagle County to provide a Continuum of Care Retirement Community with associated living facilities in the area.

Housing Policy 1.3: Promote increased residential densities in mixed-use commercial residential areas.

- b. Revise codes that inappropriately limit housing variety options in residential zoned districts.

Economic Development Policy 1.1: Support an economic development strategy that is consistent with the vision statement.

- g. Work to attract businesses that provide higher wage jobs.

Economic Development Policy 1.2:

- a. Support opportunities to expand the number and diversity of businesses in Eagle.

ACTION Plan

The Town of Eagle Planning and Zoning Commission and Eagle County Planning Commission reviewed the recommended strategies for each policy contained in the Eagle Area Community Plan, and further organized strategies identified as most important to implement, including:

Housing: Facilitate the development of a Continuum of Care Retirement Community within the Eagle Planning Area.

EACP Future Land Use Map (FLUM) Designations for Lands within the Town's Urban Growth Boundary:

The Castle Peak project is located with the "Planned Unit Development" Designation of the FLUM and is compatible with the intent, character, location criteria and land uses of the plan.

Section VI

Appendices

A	Letter of Authorization
B	Application Forms for MDP and Final Plat
C	Title Commitment
D	Soils Report
E	Service Provider Letters
F	4 th Amendment to the Eagle Ranch PUD Guide
G	Public Notice Address Listing
H	Light Plan Fixture Cut Sheets