



AGENDA
Planning & Zoning Commission
Tuesday, August 2, 2016
6:00 P.M.

Public Meeting Room / Eagle Town Hall
200 Broadway
Eagle, CO

This agenda and the meetings can be viewed at www.townofeagle.org.

ITEM

6:00pm – CALL TO ORDER

APPROVAL OF MINUTES – July 19, 2016

PUBLIC COMMENT

Citizens are invited to comment on any item not on the Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person.

LAND USE FILES

NEW PUBLIC HEARINGS

1.	Project:	United Rentals Design Variance
	File #:	V16-05
	Applicant:	Justin Gartner
	Location:	1045 Chambers Avenue
	Staff Contact:	Tom Boni (Town Planner)
	Request:	Design Variance to install six-foot high, slatted chain link fencing around sides and rear of property.
2.	Project:	Creekside Lofts Side Setback Variance
	File #:	V16-04
	Applicant:	Rick Pylman (Eagle Ranch Creekside, LLC)
	Location:	718 Prince Alley
	Staff Contact:	Tom Boni (Town Planner)
	Request:	Side Setback for a 4-plex as part of the Creekside Lofts Development project.

3.	Project:	Creekside Lofts Front Setback Variance
	File #:	V16-06
	Applicant:	Rick Pylman (Eagle Ranch Creekside, LLC)
	Location:	718 Prince Alley
	Staff Contact:	Tom Boni (Town Planner)
	Request:	Front Setback for a single family home as part of the Creekside Lofts Development project.
4.	Project:	Creekside Lofts Development Plan
	File #:	DR16-01
	Applicant:	Rick Pylman (Eagle Ranch Creekside, LLC)
	Location:	718 Prince Alley
	Staff Contact:	Tom Boni (Town Planner)
	Request:	Development Review for a project including 7 townhomes and one single family home on 1.27 acres.
<u>TOWN BOARD OF TRUSTEES MEETING REVIEW</u>		
<i>Staff update to the Planning & Zoning Commission on recent decisions made by the Board of Trustees on various Land Use files.</i>		
1. Boyz Toyz		
2. Sylvan Circle		
3. Marijuana Code Updates		
<u>OPEN DISCUSSION</u>		
<u>ADJOURN</u>		



**Planning and Zoning Commission
Meeting Minutes
July 19, 2016**

PRESENT

Jason Cowles, Chair
Stephen Richards
Charlie Perkins
Cindy Callicrate
Jesse Gregg

STAFF

Tom Boni – Town Planner
Matt Farrar – Assistant Town Planner
Danielle Couch – Administrative Assistant

ABSENT

Jamie Harrison
Donna Spinelli
Max Schmidt

This meeting was recorded and the CD will become part of the permanent record of the minutes. The following is a condensed version of the proceedings written by Danielle Couch.

CALL TO ORDER

The regular meeting of the Planning and Zoning Commission held in the Eagle Town Hall on July 19, 2016, was called to order by Jason Cowles at 6:08 p.m.

APPROVAL OF MINUTES

Stephen Richards moved to approve the minutes of the July 5, 2016, Planning & Zoning Commission Meeting. Charlie Perkins seconded. The motion passed unanimously.

ADMINISTRATIVE UPDATE

Tom Boni explained that since Danielle Couch has been working with the Town, the Community Development work that had moved to the Administration Office is transitioning back upstairs. Couch said that following an inquiry by Jesse Gregg regarding term expirations for the members of the Planning and Zoning Commission, she had researched appointments and terms back to 2012 and found a few clerical errors and some apparent confusion regarding term limits when a member is appointed to finish the term of a resigning member. As a result, there are currently three terms that have expired (Harrison, Spinelli and Perkins). The Town Board of Trustees has indicated they would like to publish an advertisement for these positions; members are encouraged to reapply if they are interested. Also, the term expirations for Callicrate and Schmidt

were incorrectly recorded and will be corrected through Ordinance at the July 26, 2016, Town Board of Trustees Meeting.

Cowles asked if there is an application form for those interested in participating on the Planning and Zoning Commission. Boni said there is and we also request a resume and letter of interest. Boni also clarified that the term length confusion stemmed from new members filling resigning members' seats, with the intent to maintain staggered terms. Cowles thought an easy solution would be to appoint new members to a four-year term, regardless of replacement status. Staff will review the Town's Municipal Code to determine if this would be allowed.

PUBLIC COMMENT

None

LAND USE PUBLIC HEARINGS

LURA16-01 Revisions to Section 4.03.040 – Definitions and Section 4.04 – Zoning of the Town of Eagle Land Use & Development Code

Cowles opened File LURA16-01, Revisions to Section 4.03.040 and Section 4.04, related to definitions and regulations for dog daycare facilities, indoor recreation facilities and medical and retail marijuana testing, cultivation and infused-product manufacturing facilities. Item 3 related to indoor recreation facilities has already been reviewed by the Planning & Zoning Commission and was approved by the Town Board of Trustees on April 26, 2016. Staff is requesting a continuation of items 1 and 2 related to dog daycare facilities to September 6, 2016, to allow more time to research other jurisdictional, state, federal and USDA regulations and requirements for these facilities. Items 4 and 5 are related to regulations for marijuana testing facilities, medical and retail marijuana cultivation facilities and infused-product manufacturing facilities, and expanding the area in the Town where these uses are permitted. These items were discussed at the May 3, 2016, Planning & Zoning Commission Meeting and continued to this hearing to address comments provided by the Commission.

Planning Commission Comments:

- Maintain the limit on Medical and Retail Stores and Cultivation facilities to one (1) per 5,000 people in the town of Eagle or fraction thereof.
- Create an expanded area along Chambers Avenue where both Medical and Retail marijuana Infused-Products Manufacturing facilities and Testing facilities would be permitted.
- Allow for two (2) Medical Marijuana Infused-Products Manufacturing facilities and two (2) Retail Infused-Products Manufacturing facilities per 5,000 people in the town of Eagle or fraction thereof.
- Allow for one (1) Marijuana Testing facility per 5,000 people in the town of Eagle or fraction thereof.
- Remove the "Penalty for Violation" for Special Use Permit violations for Medical and Retail Marijuana businesses.

- Define hours of operation for medical and retail marijuana businesses as 8am – 12am, Monday – Sunday, as defined in the state regulations.

During review, Staff noticed some additional language modifications that should be made:

- Add definitions for “Licensed Premise” and “Licensee.”
- Modify the definition of “Medical Marijuana Business” to more closely mirror the definition of “Retail Marijuana Business.”
- Modify the definition of “Marijuana Testing Facilities.”
- Add supplemental regulations specific to “Marijuana Testing Facilities.”

Staff noted that these definitions are modeled after the Colorado Medical Marijuana Code and Colorado Retail Marijuana Code and are more up to date than the current language in the Town’s Code.

Cowles noted that these businesses are all licensed through the state and anything they might do to violate state regulations would jeopardize their state license. Farrar agreed and stated that right now for medical marijuana businesses the Town issues a local license but does not have a similar license in place for retail marijuana businesses. An amendment of the Municipal Code will be needed in the future to require local licenses for both medical and retail marijuana businesses.

Staff recommended approval of LURA16-01, items 4 and 5 related to regulations for marijuana testing facilities, medical and retail marijuana cultivation facilities and infused-product manufacturing facilities, and expanding the area in the Town where these uses are permitted.

Cowles had a comment regarding the definitions of “Licensed Premise” and “Licensee” and whether those terms occur elsewhere in the Code. If so we may want to more clearly define those terms in relation to marijuana businesses.

Richards moved to continue LURA16-01, items 1 and 2 to the Planning and Zoning Commission Meeting on September 6, 2016.

Cowles opened public comment and hearing none, closed public comment.

Gregg seconded the motion to continue LURA16-01, items 1 and 2. The motion was unanimously approved.

Gregg asked about the “fraction thereof” language regarding the allowance of marijuana testing and manufacturing facilities. Boni explained that the language was drafted by the Town Attorney and allows a facility per and up to each 5,000 residents in the Town (a population of 5,001 would allow for an additional facility).

Richards moved to approve LURA16-01, items 4 and 5, with the noted clarification of the definitions of “Licensed Premise” and “Licensee.” Perkins seconded the motion. The motion was approved unanimously.

Cowles closed File LURA16-01, items 4 and 5 and continued File LURA16-01, items 1 and 2 to the September 6, 2016, Planning and Zoning Commission Meeting.

TOWN BOARD OF TRUSTEES MEETING REVIEW

1. Joint PZ/Board Work Session – Staff is working to schedule a joint Planning and Zoning/Board of Trustees meeting in the next couple of months.

OPEN DISCUSSION

There was a discussion about the status of the RFP/RFQ process for the Eagle River Park. Staff asked the Commission for their professional experience performing consulting work as part of a collaborative team.

ADJOURN

Richards made a motion to adjourn the meeting. Gregg seconded. The motion passed unanimously. The meeting was adjourned at 7:02 p.m.

Date

Jason Cowles – Planning and Zoning Commission Chair

Date

Danielle Couch – Administrative Assistant



CERTIFICATE OF RECOMMENDATION

TO: Planning & Zoning Commission

FROM: Department of Community Development

DATE: August 2, 2016

PROJECT NAME: United Rentals Fence Design Standard Variance

FILE NUMBER: V16-05

APPLICANT: Justin Gartner

LOCATION: 1045 Chambers Avenue

APPLICABLE SECTION(S) OF MUNICIPAL CODE:
Section 4.07 (Development Standards)

EXHIBIT(S):

1. Aerial Photo Existing
2. Application Letter
3. Chain Link Fencing
4. Fencing Location
5. Welded Steel Fencing

PUBLIC COMMENT: None received to date.

STAFF CONTACT: Tom Boni (Town Planner)

REQUEST: Zoning variance to allow for the installation of a 6' tall chain link fence in the rear and side yards. (*Chain link fencing allowed by Chambers Avenue Design Guidelines in rear yard with stipulation.*)

DISCUSSION:

Justin Gartner, working on behalf of United Rentals, is requesting a variance to replace a dilapidated cedar fence that currently encloses the rear yard and a portion of the side yard with a slatted chain link fence that encloses the rear yard and all of the side yard. See Exhibit 1. The fence would transition into a welded ornamental steel fence as it turns the corner on both sides of the building and connects to the front corners of the building.

United Rentals is growing their operations in Eagle and needs more space for their outdoor operations, taking deliveries, storing equipment and for customer pick-up and delivery. Please see Application Letter attached as Exhibit 2.

The Design Standards for the Chambers Avenue Commercial Area provide that “chain link fencing may be used for demonstrated security purposes only and must be vinyl-coated black or green and used in conjunction with plant material that is tightly spaced to create a visual screen. Chain link fencing shall be restricted to rear yards.” The applicant has proposed slatted chain link fencing as shown on Exhibit 3. Please also see Exhibit 4 which shows an aerial photo of the property and diagram of the chain link fencing and proposed vegetation. Refer to Exhibit 5 for description of welded steel fence connecting chain link fence to the corners of the building.

DESIGN VARIANCE STANDARDS:

Per Section 4.070.060 of the Land Use & Development Code, the body authorizing a development permit may grant a variance from the strict application of the requirements of Chapter 4.06 based on the following findings:

1. There exists on the property in question exceptional topographical, soil, or other sub-surface condition, or other extraordinary conditions peculiar to the site, existing buildings, or lot configuration, such that strict application of the regulation from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the applicant; OR
2. That the public good would be better served by granting the variance.

In this case where the Development Permit for this building has already been approved and we are only looking at the approval of the proposed fencing, Staff has determined that it is the purview of the Planning and Zoning Commission since there is no public dedication or associated land use application involved.

STAFF RECOMMENDATION:

Staff recommends the approval of the geometry of the requesting fencing as shown with the following conditions:

1. Additional planting of bushes to be approved by the Town Planner. Staff is requesting that the applicant use Rocky Mountain Juniper or similar native drought tolerant evergreen bush or tree planted at approximately one tree per 70 feet along the eastern and western side lot lines of the property.

Along the western side of the property the trees may be located on the western side of the fence in the Town Owned Open Space pending a license with the Town. On the eastern side the trees shall be located within the property. Drip irrigation shall be provided to any of these trees or bushes.

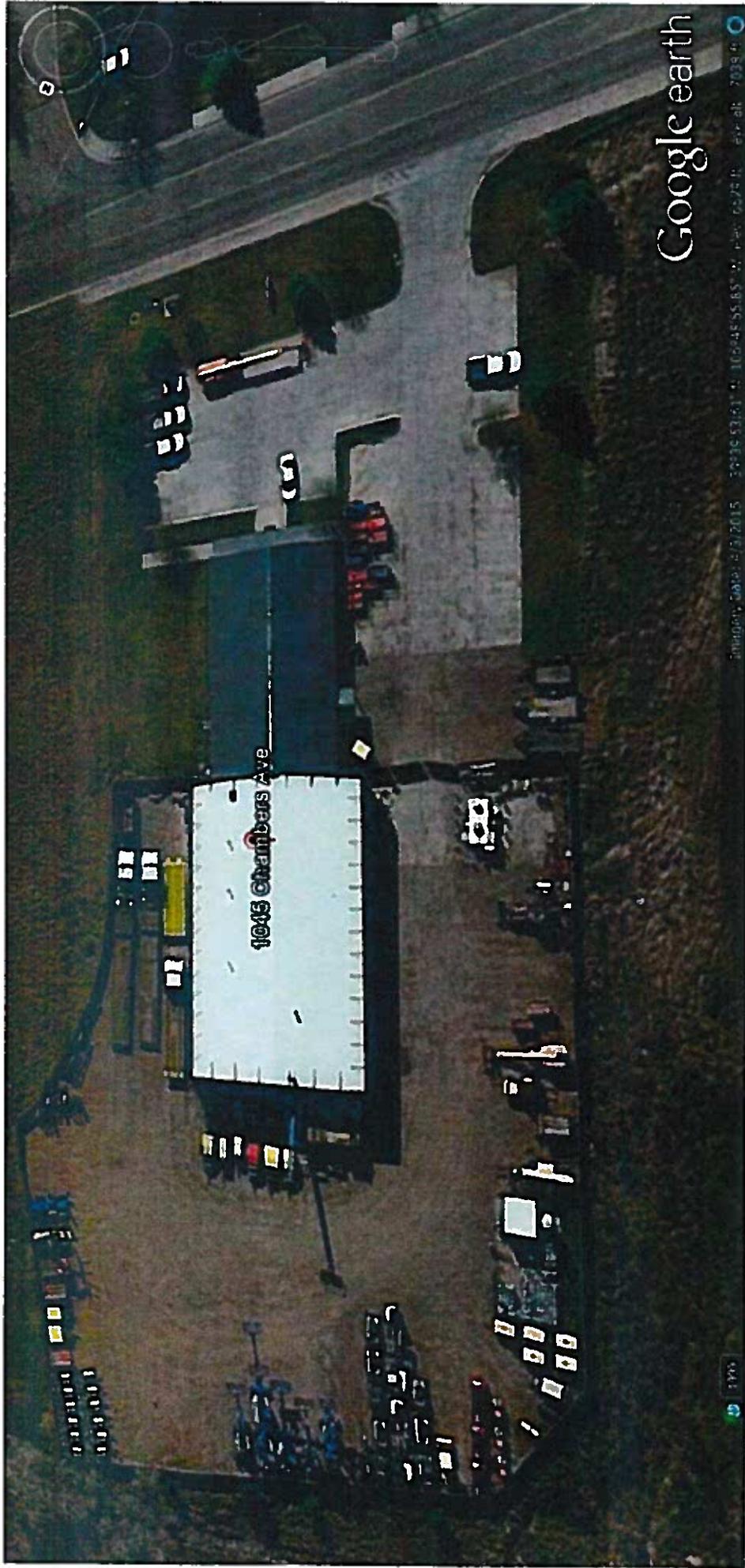
2. Chain link fencing shall be vinyl coated green and slats shall be a similar green.

Staff believes that this approval with the above noted conditions can be made finding that the public good would be better served by granting this variance because of the maintenance issues related to cedar fencing and the benefits achieved through adding hardy landscaping along the side yards.

PLANNING & ZONING COMMISSION:

1. Questions of Staff and/or Applicant
2. Public Comment
3. Deliberations

Item A





J. GARTNER CONSTRUCTION SERVICES LLC

9249 S Broadway, Unit 200-409
Highlands Ranch, CO 80129
Office: 303-470-8231
Fax: 303-470-8232
justin@jgartnerconstruction.co

www.jgartnerconstruction.co

7/8/2016

Town of Eagle
Thomas M Boni:

Thank you for taking the time to ride to the United Rental site and provide guidance to me for what United wants to do to improve their site location at 1045 Chambers Ave. in Eagle Colorado.

Enclosed find the Items listed below.

Item (A): Aerial picture of what the property looks like at the present time.

Item (B); This is an aerial of the improvements United would like to have us do.

- (1). Remove the existing cedar fence that is in very poor shape.
- (2). Replace the existing fence with a 6' chain link fence that has slates and extend the Chain link fence to the front SE corner and the front SW corner of the building.
(This area is shown by the red lines)
- (3). The line that is in Blue will be ornamental steel fence with a re-mote 20' slide gate. This gate would be open during business hours, allowing for customers to pick up the equipment they rent. It will also allow United's delivery trucks to come and go.
- (4). The items marked with a (B), we will plant Three 4' high bushes, we will extend the existing drip system that now waters the trees along that location.

By allowing the chain link fence with the slates to come to the front SE & SW corners and line up with the front of the building, will screen the view of the stored rental equipment from the public traveling both East and West on Chambers Ave.

The area directly East of the office, which is now lawn. The lawn and sprinkler lines will be remove and road base will be hauled in and the area will become extra equipment parking and parking of the United delivery trucks.

Item (C): Is the spec. sheet of the ornamental steel fence we will install along the Blue Line shown on Item B. Will be using the Bronze color. The slide gate will be made of the same material. The sheet marked as (C-1) is the spec. sheet for the privacy slates that will be installed on all areas of the chain link fence.

See page 2



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Page 2

Item (D): This a copy of the letter United Rental requesting from the Lessor the consent to do the alterations to the property as stated in the attached Proposal. Please note on the second page of the letter the accepted and agreed consent.

Item (E): Is the completed Contractor License Application with a \$100.00 check attached for the license fee.

Item (F): This the completed Application Form For Zoning Review.

If I'm missing anything, please let me know and I will get it to you as fast as I can.

Thanks again for your help.;

Justin Gartner
Cell & text 303-243-4086

G-1



Bottom Locking Double Wall Slats

Bottom Locking Double Wall Slats are an economical and attractive way to enhance any chain link fence. The bottom locking design makes this one of the easiest slats to install and assures a clean level finish.

Design – Flat tubular shape with inside reinforced “legs” for extra durability. The locking channel creates a “snap-in” locking effect for security and deters vandalism.

Installation – Insert the locking channel horizontally through the bottom of the fence, then simply slide the slats vertically from the top towards the bottom channel and they will automatically lock into place.

Standard Heights – 4 ft., 5 ft., 6 ft., 7 ft., 8 ft., 10 ft., and 12 ft.
Special heights available upon request

Slat Length – 3 1/2” shorter than the overall height of the fence

Wind Load and Privacy Factor – Approximately 75% (Based on wire/mesh used-stretch tension)

Colors – Beige, Redwood, Black, White, Royal Blue, Forest Green, Gray, Dark Brown, Sky Blue

Features and Benefits

Materials – SlatSource® slats are extruded from High Density Polyethylene (HDPE), color pigments and ultra violet (UV) inhibitors specifically formulated to retard the harmful effects of the sun and lengthen the life of the slat.

Durability – Our slats are also resistant to severe weather conditions, salt water, sand, road dirt, most acids, alcohol, alkaline, ammonia, petroleum distillates, and common environmental pollutants.

Maintenance – Our slats are nearly maintenance free. They may be pressure cleaned of surface contaminants with plain water.

Wind Load Disclaimer – We will not be held responsible for fence damage resulting from wind load conditions due to insufficient structural support.

Designations – Meets ASTM Designation: F3000/F3000M (except HedgeLink and Aluminum Slat)

HDPE Technical Properties

Property	Values
Melt Index	(.6) A low melt index indicates improved stress and crack resistance.
	A higher density yields maximum stiffness without becoming overly brittle.

Slat Name	Slat Width	Mesh Size	Wire Gauge	Coverage Area
Bottom Lock 2"	1 3/32"	2"	9 or 11	10 linear feet
				feet
		2"	6	feet

Available Colors

(colors are approximations)



Exact representation of colors in printing is difficult. Please refer to actual color samples for accurate matching. Samples available upon request.



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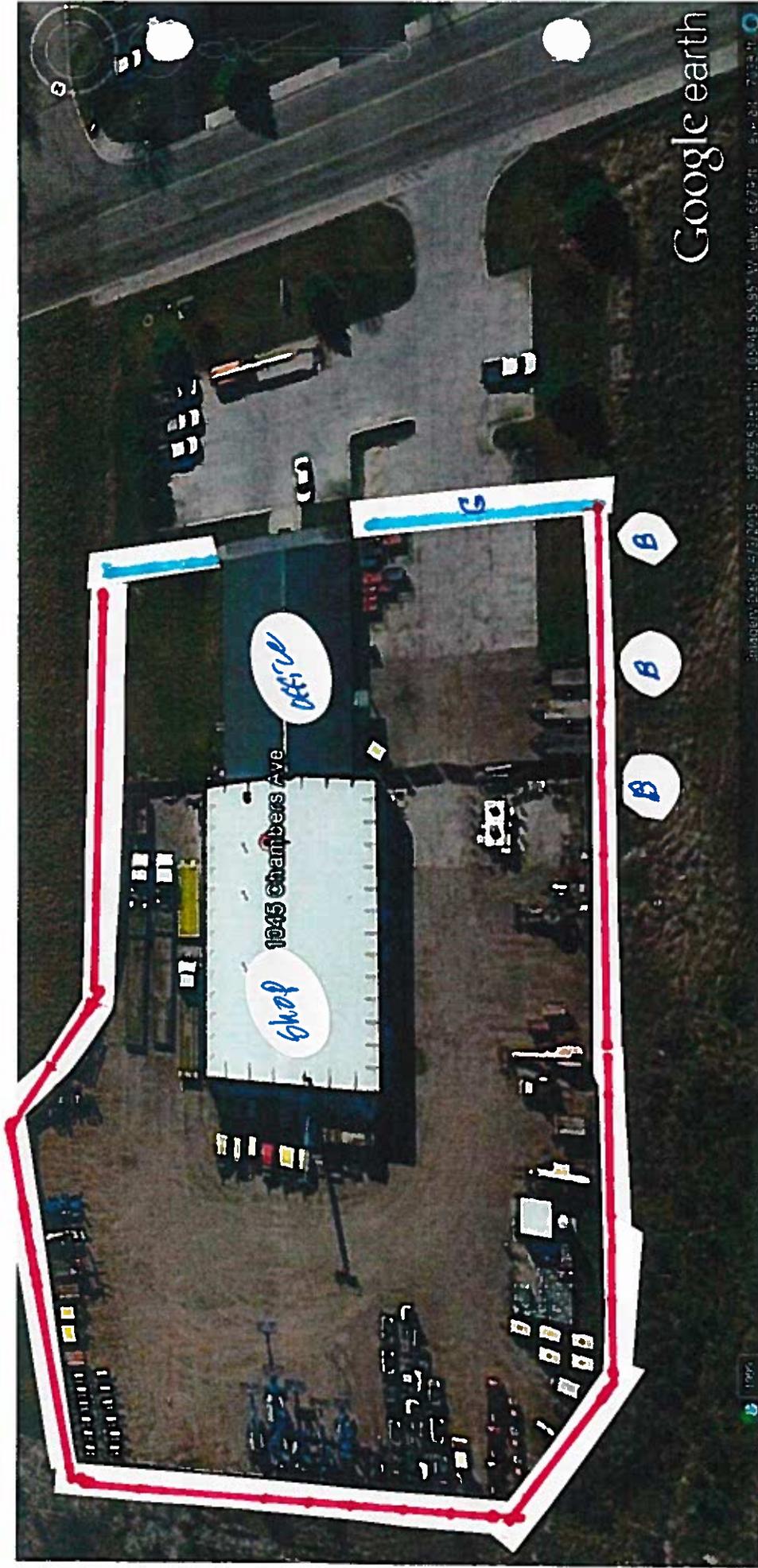
info@eprivacylink.com

Many patents and patents pending.

← North

East

Item (B)



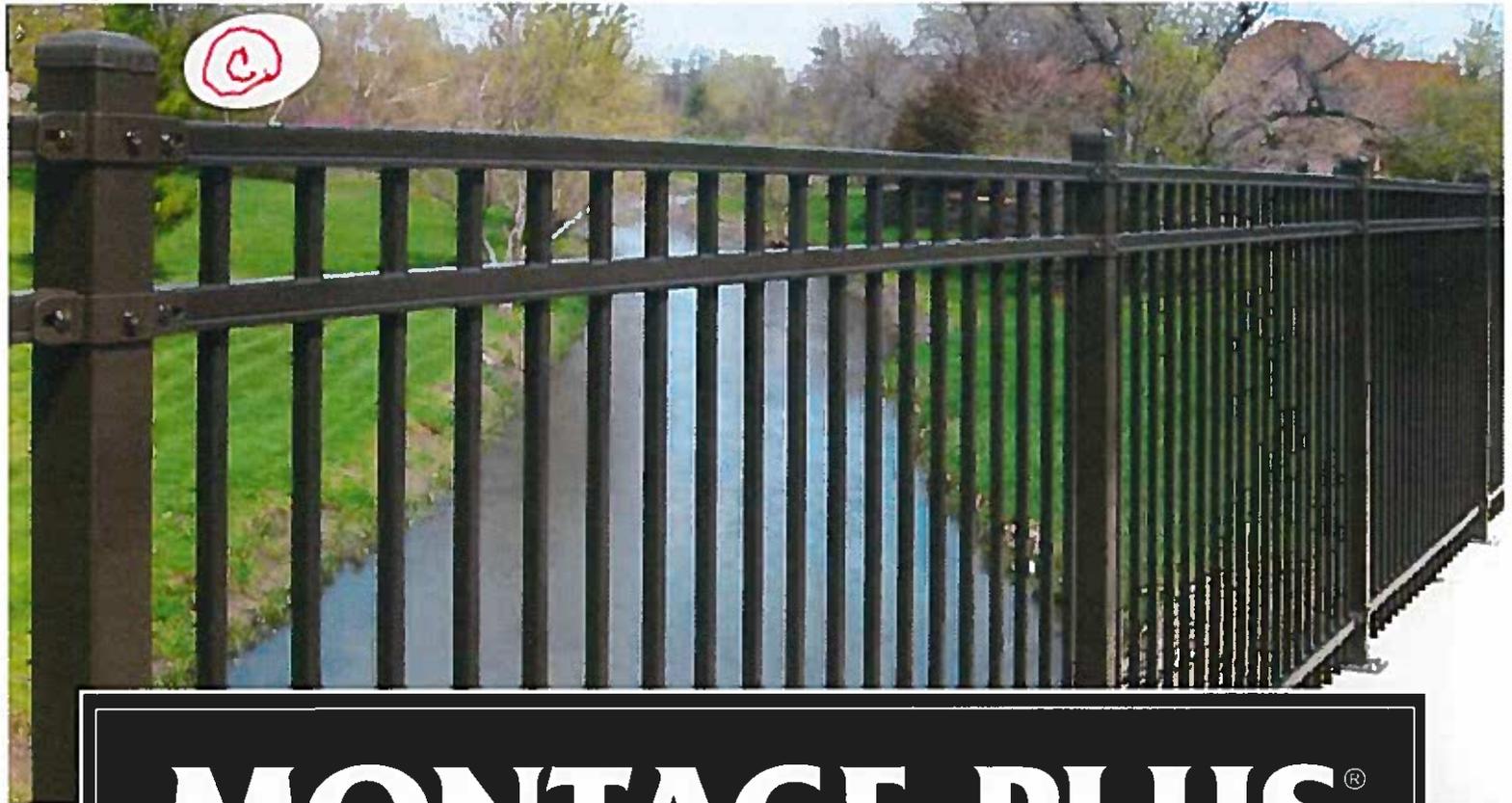
Key

ORNAMENTAL steel Fence w/slide gate

Chain Link with SLATS

B 4' tall Bush

G Location of 30' gate



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- Extended Picket or Flush Bottom Panels
- 4" Standard or 3" Pet, Pool & Play Picket Air-Space



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- 2-Rail or 3-Rail Panels
- Extended Picket or Flush Bottom Panels
- 4" Standard or 3" Pet, Pool & Play Picket Air-Space



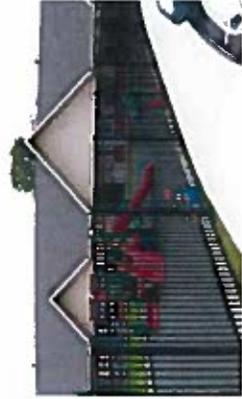
GENESIS™

- 3", 3½", 4", 5" or 6" Heights
- 2-Rail or 3-Rail Panels
- Extended Picket or Flush Bottom Panels
- 4" Standard or 3" Pet, Pool & Play Picket Air-Space



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- Extended Picket or Flush Bottom Panels
- 4" Standard Picket Air-Space



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- Improved Panel Strength & Durability
- Increased Safety & Security for Children & Pets



GATE OPTIONS

- MONTAGE PLUS® SWING GATES
- MONTAGE PLUS® ARCHED GATES
- ESTATE® STEEL ENTRY GATES
- TRANSPORT™ CANTILEVER GATES
- PASSPORT™ ROLL GATES

COLOR OPTIONS

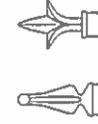


BLACK



BRONZE

ADORNMENTS



QUAD FLARE TRIM



ROYALTY



BALL CAP



BUTTERFLY SCROLL



DOUBLE RINGS

PICKETS

¾"sq. x 18 ga.

RAILS

1½" x 1½" x 14 ga.

POSTS

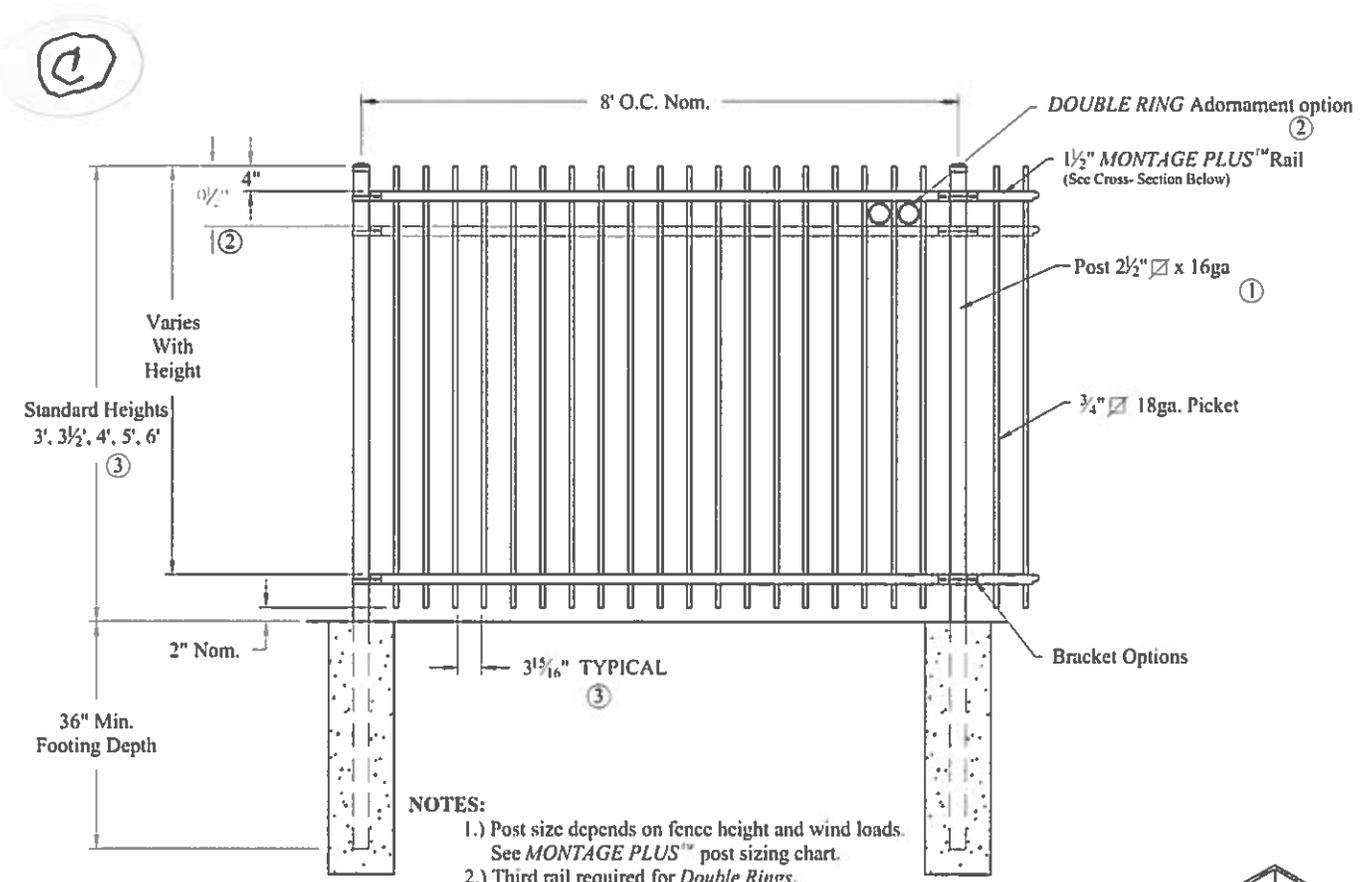
2½" x 16 ga.



20 Year Warranty backed by proven excellence for over 30 years

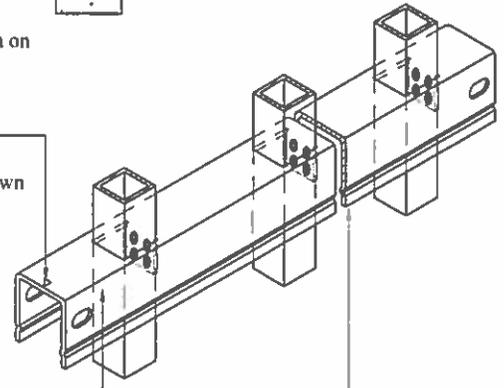


Montage Plus is manufactured from nearly 95% recycled steel



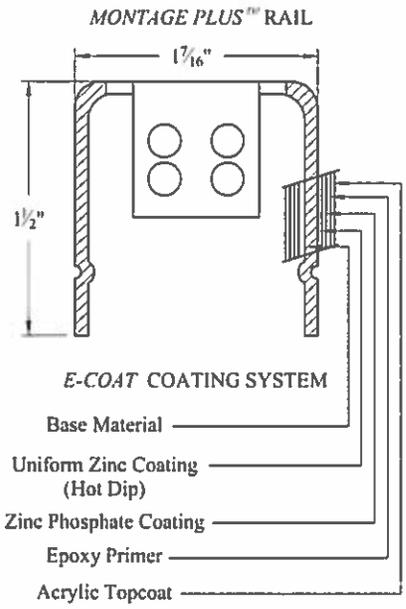
- NOTES:**
- 1.) Post size depends on fence height and wind loads. See *MONTAGE PLUS™* post sizing chart.
 - 2.) Third rail required for *Double Rings*.
 - 3.) Available in 3" air space and/or Flush Bottom on most heights.

RAKING DIRECTIONAL ARROW
 Welded panel can be raked 30" over 8' with arrow pointing down grade.

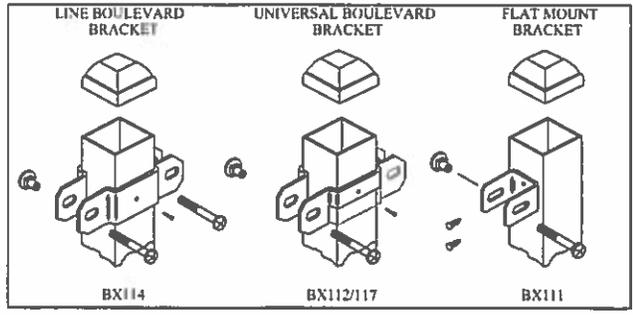


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 Specially formed high strength architectural shape.



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- Base Material
 - Uniform Zinc Coating (Hot Dip)
 - Zinc Phosphate Coating
 - Epoxy Primer
 - Acrylic Topcoat



**COMMERCIAL STRENGTH WELDED STEEL PANEL
 PRE-ASSEMBLED**

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

IRGISO

Title: MONTAGE PLUS GENESIS 2/3-RAIL		
DR: CI	SH. 1 of 1	SCALE: DO NOT SCALE
CK: ME	Date 6/28/10	REV: e



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CERTIFICATE OF RECOMMENDATION

TO: Planning & Zoning Commission

FROM: Department of Community Development

DATE: August 2, 2016

PROJECT NAME: Creekside Lofts – Side Setback Variance

FILE NUMBER: V16-04

APPLICANT: Rick Pylman

LOCATION: 718 Prince Alley

APPLICABLE SECTION(S) OF MUNICIPAL CODE:
Section 4.05.020: Zoning Variance

EXHIBIT(S): Please refer to Exhibits for DR16-01 including overall Application letter where variance request is explained

PUBLIC COMMENT: None received to date

STAFF CONTACT: Tom Boni (Town Planner)

REQUEST: Zoning variance to allow a 9.5 foot side yard setback where a 16-foot setback is required. (12.5 feet or half the height of the building whichever is larger. In this case the building from grade to the midpoint in the gabled roof is approximately 32 feet and therefore half the height would be approximately 16 feet.)

DISCUSSION:

This request for variance is from the easterly lot line of the development parcel. This easterly lot line was adjusted when the recently constructed fourplex to the east was subdivided. The fourplex to the east is located approximately 15 feet to the east of this property line.

The property is zoned Residential Multi Family (RMF) and contains 1.27 acres. RMF zoning allows multi-family development at one unit per 4,000 square feet of land. This parcel could therefore be developed with a maximum of 13 dwelling units. The request through the related Development Plan Application is for a total of eight units (seven townhomes and one single family), significantly less than the maximum permitted by zoning.

Each unit is approximately 20 feet in width and includes a one car garage. There are two multi-family buildings (fourplex and triplex) proposed in an east west direction with a 15-foot building code required separation between these buildings. At the western property line along Sylvan Lake Road there is a 25-foot wide setback required and the setback shown on the plan shows the northern corner of the building to be approximately 29 feet from the road right of way.

The south easterly corner of the triplex is currently located approximately 9.5 feet from the easterly property line. The requested variance due to the height of the building is 6.5 feet (16' - 9.5'). Due to the geometry of the building which is not parallel to the lot line the north east corner of the triplex is located approximately 12.5 feet from the property line for a 3.5-foot variance request (16' - 12.5').

Staff questions why both buildings cannot shift 3 feet to the west thereby reducing the variance requests to 3.5 feet on the south corner of the building and .5 feet on the north corner while still providing ample setback from Sylvan Lake Road of 26 feet and 29 feet respectively. At our level of study, we did not see any utility or topographic constrains which would make this shift very difficult.

STANDARDS FOR ZONING VARIANCE (SECTION 4.05.020):

Listed below are the findings required by Section 4.05.020 of the Land Use & Development Code for approval of a Zoning Variance:

1. That the variance granted is without substantial detriment to the public good and does not impair the intent and purposes of the Town's regulations, goals, policies and plans, including the specific regulation in question, and
2. That the variance granted is the minimum necessary to alleviate the hardship, and
3. That there exists on the property in question exceptional topography, shape, size or other extraordinary and exceptional situation or condition peculiar to the site, existing buildings, or lot configuration such that strict application of the zone district requirements from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of the property in questions, or
4. That such exceptional situation or condition was not induced by any action of the applicant and is not a general condition throughout the zone district.

FINDINGS FOR ZONING VARIANCE:*Standard #1:*

Staff believes that a variance to the side yard setback is without substantial detriment to the public good and does not impair the intent and purposes of the Town's regulations, goals, policies and plans, including the specific regulation in question

Standard #2:

It is staff's opinion that because there exists additional space between the triplex located at the western side of this lot and the right of way of Sylvan Lake Road, the requested variance is not the minimum required to minimize the hardship. Staff is recommending that the buildings shift 3 feet to the west unless prevented by topography or utilities.

Staff does not believe the public good would be served to narrow the width of these units to reduce or eliminate the variance because the existing 20 feet in width of each unit does not provide any room to make narrower. Staff also believes that the development of this parcel proposed as seven townhomes units and a single family home fits the neighborhood better than stacked condominiums and a parking lot, which would allow for the applicant to achieve more density within the existing zoning of the parcel without the need for a variance.

Standard #3: Given the L shape configuration of this parcel staff believes there is a peculiar shape to the parcel warranting consideration for a variance. The topography of the site also presents some difficulties in relationship to the height of the building. Since the first floor of the building is a story below the street elevation the technical building height is higher than the building appears from Prince Alley, which also affects the setback measurement at half of the height of the building rather than 12.5 feet.

STAFF RECOMMENDATION:

Staff recommends approval of file number V16-04 (Creekside Side yard setback variance) based on compliance with Zoning Variance Standards 1, 2 and 3 with the following condition:

1. Buildings shift three feet further to the west thereby reducing the requested side yard variance to 3.5 feet ($16 - 12.5 = 3.5$ ft.).

PLANNING & ZONING COMMISSION:

1. Questions of Staff and/or Applicant
2. Public Comment
3. Deliberations



CERTIFICATE OF RECOMMENDATION

TO: Planning & Zoning Commission

FROM: Department of Community Development

DATE: August 2, 2016

PROJECT NAME: Creekside Front Yard Setback Variance

FILE NUMBER: V16-06

APPLICANT: Rick Pylman

LOCATION: 718 Prince Alley

APPLICABLE SECTION(S) OF MUNICIPAL CODE:
Section 4.05.02 (Variance Standards)

EXHIBIT(S): See Exhibits for Creekside Development Plan Application (DR16-04)

PUBLIC COMMENT: None Received as of July 29, 2016

STAFF CONTACT: Tom Boni, Town Planner

REQUEST: Variance to allow front yard setback of 18 feet rather than the standard 25-foot setback (7-foot variance)

DISCUSSION:

This parcel has an unusual L shape with the narrow portion of the leg of the L providing access to a single family home. The western side of this portion of the property adjacent to Sylvan Lake Road is encumbered by a landscape easement controlled by the Eagle Ranch Homeowners Association. The applicant has worked with the association to modify the shape of this easement to allow the placement of this home. There are also other utility easements on this property further restricting the envelope available for development. Over the course of the review of this application we have examined other configurations including three smaller homes on this portion of the property.

We have now arrived at a point where only one home is proposed. This home will have a driveway from the hammerhead provided within the ROW at the northern end of Prince Alley. Shifting the house as far north as possible opens up a wider area between the multi-family development along the south side of the property and the proposed single family home. Due to the peculiar application of a corner lot requiring two front yard setbacks for this home, there is also a front yard setback of 25 feet required for the garage facing the hammer head.

As mentioned in the application the effective distance between the front of this single family house and the pavement of Price Alley is 35 feet. Given the 25-foot setback required from Sylvan Lake Road and the narrowness of the lot front setback variances are requested to accommodate this single family home.

ZONING VARIANCE STANDARDS:

Listed below are the findings required by Section 4.05.020 of the Land Use & Development Code for approval of a Zoning Variance:

1. That the variance granted is without substantial detriment to the public good and does not impair the intent and purposes of the Town's regulations, goals, policies and plans, including the specific regulation in question; and
2. That the variance granted is the minimum necessary to alleviate the hardship; and
3. That there exists on the property in question exceptional topography, shape, size or other extraordinary and exceptional situation or condition peculiar to the site, existing buildings, or lot configuration such that strict application of the zone district requirements from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of the property in question; or
4. That such exceptional situation or condition was not induced by any action of the applicant and is not a general condition throughout the zone district.

FINDINGS FOR A ZONING VARIANCE:

1. Based on the unusual shape of this property and the unforced nature of the application for one single family home, staff believes that this variance can be granted without substantial detriment to the public good and does not impair the intent and purposes of the Town's regulations, goals, policies and plans, including the specific regulation in question.
2. The proposed setbacks of 18 feet and 20 feet for the front setbacks (front of house and garage respectively) are reasonable and staff believes that a finding can be made that they are the minimum necessary to accommodate a single family home.
3. This property is narrow and technically has three front yard setback requirements which is an unusual condition within the RMF Zone District, such that strict application of the zone district requirements from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of the property in question.

STAFF RECOMMENDATION:

Staff recommends approval of front setback variances for this single family home based on compliance with standards 1, 2 and 3 as referenced above.

PLANNING & ZONING COMMISSION:

1. Questions of Staff and/or Applicant
2. Public Comment
3. Deliberations



CERTIFICATE OF RECOMMENDATION

TO: Planning and Zoning Commission
FROM: Department of Community Development
DATE: Tuesday, August 5, 2015
PROJECT NAME: Creekside Lofts Major Development Permit
FILE NUMBER: DR16-01
APPLICANT: Rick Pylman
STAFF CONTACT: Tom Boni, Town Planner

APPLICABLE SECTION(S) OF MUNICIPAL CODE:

Section 4.06 (Development Review)
Section 4.07 (Development Standards)

EXHIBIT

- A. Aerial Photo
- B. Application Letter
- C. Architectural Drawings
- D. Engineering Drawings

PUBLIC COMMENT: None received to date

REQUEST:

The applicant is requesting Development Plan review of a fourplex and a triplex facing south onto the Eagle Ranch Open Space/Brush Creek and a single family home located on the north side of the property facing west on a 1.27-acre parcel.

DISCUSSION:

This property is the second lot that this applicant controls in this neighborhood. They constructed a fourplex on the easterly lot and it has been sold out. There are two related zone variance requests associated with this Development Plan which the staff supports. (A side yard setback variance with conditions and front yard setback variance without conditions.)

Over the last year, staff has met with the applicant on several occasions to review concept plans, several of which contained more development. Staff is pleased with the ultimate configuration of the proposed development of seven multi-family units and one single family unit, which is significantly less than the maximum allowed by the Multi-Family Zone District. The applicant has worked with staff to introduce roof elements to the elevations that mitigate the impact of these buildings on the surrounding neighborhood and when viewed from Sylvan Lake Road. We are also pleased with the detailing and window placement and roof materials.

There is a pedestrian loop that many people use along Castle Peak Drive that extends along Prince Alley to connect with the multi-use path along the east side of Sylvan Lake Road. In reviewing these plans, staff believes that a five-foot wide gravel path could turn southerly and at a 10% - 12% grade, could avoid the proposed steps shown on the grading plan for this path extension and have minimum impact on the occupants of the triplex.

Due to the elongated nature of the placement of these buildings to maximize their orientation to the open space to the south as well as the southern solar exposure, a Development Standard related to access to Prince Alley (45-foot versus 35-foot wide road cut and the ability of cars to enter and pull out in forward drive) is not being met. The applicant is requesting a Design Standard Variance. Due to the above referenced orientation of these buildings and the fact that Prince Alley is a low volume, low speed, dead end roadway, staff is recommending approval of this design standard variance.

DEVELOPMENT REVIEW STANDARDS (SECTION 4.06)

The general requirements for a Development Plan Review as described in Section 4.06.060.D of the Land Use and Development Code are:

1. Compliance with the Town's ordinances, regulations, goals, policies and plans.
2. Any adverse impacts resulting from the proposed development are reasonably and adequately mitigated by the applicant to minimize such impacts.

FINDINGS FOR DEVELOPMENT REVIEW STANDARDS

Standard #1:

As discussed above, this property is zoned Residential Multi-Family. The dimensional standards of this zone district are met with the exception of the two variances requested.

The Town's goals, policies and plans relevant to this land use application are contained within the Eagle Area Community Plan (EACP).

The Land Use Designation provided for this property in the EACP is West Eagle Mixed Use which encourages additional residential development in this area of Town with easy pedestrian and bicycle access to Downtown. The Plan also encourages "strong movement, land use and character connections" between West Eagle and the Historic Town. Staff believes this proposal addresses these policies.

In the Housing Chapter of the EACP the first policy is "to support and contribute to efforts to address the needs for affordable housing." The second policy is "to promote the preservation and/or creation of a wide range of housing units...."

Chapter 6 of the EACP entitled Community Design and Appearance encourages high quality design standards, a pedestrian friendly community and the creation of a "sense of place."

It is staff's opinion that the proposed development is in general compliance with the above referenced policies of the EACP.

This property is also located within the West Eagle Sub Area Plan. It is designated as Multi-Family Development. This plan encourages multifamily development and the integration of building form into the topography and provides an attractive transition to higher density in the central portion of the area.

In staff's opinion, the proposed development conforms to this direction.

Standard #2:

Any adverse impacts resulting from the proposed development are reasonably and adequately mitigated by the applicant to minimize such impacts.

Staff believes that this application through the architectural, landscape design and site design reasonably mitigates adverse impacts.

STAFF RECOMMENDATION:

- A. Staff recommends approval with condition that the pedestrian path provide a 10% - 12% grade to connect with the existing multi-use path along the east side of Sylvan Lake Road.
- B. Buildings shift three feet to the west or the Planning and Zoning Commission approves the existing side setback variance request.

PLANNING & ZONING COMMISSION

1. Questions of Staff/Applicant

2. Public Comment

3. Deliberations

CREEKSIDE LOFTS

Application for
Major Development Permit
&
Setback Variance

July 2016

Introduction

The purpose of this report is to provide information relative to application for a Major Development Permit to allow for the development of eight dwelling units on Lot B of the Creekside Lofts Subdivision. The proposed plan includes seven townhouse units and one single family home. Lot B is 1.27 acres in size and is zoned Residential Multi Family (RMF). This lot size would allow for up to thirteen multi-family units or nine single-family homes by zoning. A Major Development Permit approval is required as the proposed use includes an extension of a public sanitary sewer line. The specific application information requirements for a Major Development Permit are provided within the body of this narrative.

The Major Development Permit application includes a request for setback variances from the Town of Eagle development standards. The variances are requested for specific design provisions located in Section 4.04.080, Schedule of Requirements in Residential Zone Districts, of the Town of Eagle Land Use Regulations. The schedule of requirements states that the RMF Zone District shall meet a 12.5-foot side setback and a 25-foot front setback. Further detail on the variances is provided in a later section of this report. The application also includes a request for a variation from the Town of Eagle design standards with regard to driveway curb cut width.

A Final Plat application will be submitted subsequent to this request in order to amend the existing lot lines to create the single-family lot.

Description of the proposed plan

Creekside Lofts is located along and accessed from Prince Alley. There is currently one four-plex building that has been constructed, subdivided and sold to individual homeowners. These units have established a separate homeowners association and will not be a part of this proposed Lot B development permit. Lot B of Creekside Lofts represents the remaining development parcel.

The final plan for Parcel B includes one four-plex building, one tri-plex building and one single family home. The townhomes buildings consist of three level three-bedroom units of approximately 2,200 square feet. The grade falls away from the street so the floor plan has been designed to include the garage and public living spaces on the street/main level with bedrooms on the lower walkout level and on the upper floor. The lower level will include an on-grade back patio and the main level will include an above ground balcony.

The buildings have been designed by Turnipseed Architects and the design is consistent with the general direction given in Section 4.07.020 General Architectural Standards of the Town Land Use Code and in the West Eagle Area Plan. The design is in full compliance with the specific requirements for architectural design detailed in the Land Use Regulation Sub-section 4.07.020 B. 1 through 9. The architecture is also consistent with the West Eagle Area Plan statement that "*new housing stock is*

encouraged to integrate into the fabric of the community and add to the architectural character of the neighborhood". Primary building materials include stucco and horizontal lap siding with asphalt and metal roofing.

The seven townhome units are located along the prominent bend in Prince Alley as it turns back to the north. The four-plex building will access directly off of the street while the three-plex building will enter on a short driveway section and park in a small lot directly in front of the building.

The single family home will access from the north end of Prince Alley and will utilize the existing hammerhead turnaround as the driveway entrance.

The Town of Eagle parking requirement for the seven townhouse units is a total of twenty parking spaces. Each townhome will include a one-car garage and there are fourteen exterior parking spaces, for a total of twenty-one spaces. The single family home will have garage and driveway capacity to exceed the single family parking requirement of three spaces. The townhomes will utilize individual trash receptacles so there will be no dumpster enclosure on site.

The single family lot is encumbered by a landscape easement that benefits the Eagle Ranch Homeowners Association. The purpose of the easement is to allow the Eagle Ranch Association to create and maintain a landscape area at the Sylvan Lake Road entrance to Eagle Ranch. The applicant and the Eagle Ranch HOA have recently worked together to adjust the boundaries of this easement slightly to match the actual landscape area and to accommodate existing irrigation system components that were outside of the easement. The future subdivision plat for the property will detail the revised landscape easement area.

A preliminary landscape plan with a planting list and an irrigated area measurement has been included in the accompanying drawing package. The permanently irrigated area totals 2,890 square feet.

An area along Prince Alley between the townhome units and the single family home will be widened for to accommodate three parallel guest parking spaces.

Over the past few years an informal path has been created as people "shortcut" across this private property to access the Sylvan Lake Road trail. In order to allow for a continuation of this use a gravel walkway with several stair steps will be constructed north of the townhomes to provide public pedestrian access from Prince Alley to the pedestrian trail along Sylvan Lake Road. The subdivision plat will detail this area as a public pedestrian easement.

Water, wastewater and shallow utilities are all available and adequate in capacity to serve the use. The property has been zoned Residential Multiple Family (RMF) for some time and is covered for water service by the existing Town of Eagle water rights. Conversation with town staff indicates that there is existing water plant

production and storage tank capacity to serve the proposed eight units. A 12-inch diameter water main cuts across the property and will provide physical access to the water system. While designing the site plan it was determined that this water main is located outside of the actual easement. The follow up subdivision plat will create an amended easement area for the water main. The location of this main line outside of the easement has created some hardship in the site plan design and is a factor in the requested side setback variance. There is also a 6-inch diameter line in Prince Alley in front of townhouse units one and two.

Prince Alley is a two-lane dead end road that serves approximately sixteen existing homes. Prince Alley connects to Castle Drive and King Road to provide direct access to US Highway 6. These local two-lane streets have the capacity to handle the approved density.

The applicant intends to phase construction of the project with the four-plex building and perhaps the single-family home anticipated as the first phase. The triplex building construction will follow after the four-plex. Ultimately, timing of construction will be dependent upon the sales pace of the townhome units.

Alpine Engineering, Inc. has prepared a full set of major development permit plans that include a site plan, deep utility extensions and layout, shallow utility connections, drainage and grading. A landscape plan, and conceptual architectural graphic plans are also included with this application.

A Development Impact Report checklist has been completed and is included as an attachment to this application.

Upon review and approval of the site design and utility improvements the applicant will provide an Engineer's Estimate of Costs for the public improvements so that the town staff may develop a Development Improvement Agreement/Subdivision Improvement Agreement. At the time of execution of the DIA/SIA the applicant will submit the required Street Improvement and Fire Department Impact Fees as well as any other required pass-through fees assessed by the town.

Town of Eagle Goals & Policies

A Major Development Permit should be compatible with the Town's goals and policies. Those goals and policies are articulated in the Eagle Area Community Plan and the West Eagle Sub-Area Plan of 2011 and are spread throughout the various chapters and sections of those plans. Many of these goals and policies found in the Land Use, Transportation, Open Space, Housing and Economic sections of the Eagle Area community plan are broad based and are not particularly applicable towards individual buildings. The initial subdivision of this land and the application of the RMF zoning may have been reviewed against these goals and policies at the time of the original approval.

The Eagle Area Community Plan Community Design Policy 1.1 states *“New development should build upon and add value to Eagle’s unique community character through adherence to high quality standards of design and construction.”* The Creekside Lofts townhomes and the single-family lot have been designed to meet the standards of the Town of Eagle and the West Eagle Sub-Area Plan. The building sizes and scale are appropriate for the location and the architecture and building materials are compatible with the immediate neighborhood.

Goal #2 of the West Eagle Sub-Area Plan is to: *“Integrate the West Eagle Neighborhood into the surrounding community”*. The caption under the photo labeled Figure 17 states: *“New housing stock is encouraged to integrate into the fabric of the community and add to the architectural character of the neighborhood.”*

The site planning, design and architecture of the townhomes and the single family home are in full compliance with this goal.

The property is located along the west edge of the residential zone designation of the sub-area plan and is in full compliance with the description of the desired land use.

Setback Variances & Design Standard Variances

The Town of Eagle Land Use Code requires certain setback distances and allows for a variance procedure for situations that do not or cannot meet these setbacks.

The Town Code permits the Planning Commission to grant a variance provided it finds both items 1 and 2 and either item 3 or 4 are applicable.

1. *That the variance granted is without substantial detriment to the public good and does not impair the intent and purposes of the Town's regulations, goals, policies and plan, including the specific regulation in question; and*
2. *That the variance granted is the minimum necessary to alleviate the hardship; and*
3. *That there exists on the property in question exceptional topography, shape, size or other extraordinary and exceptional situation or condition peculiar to the site, existing buildings, or lot configuration such that strict application of the zone district requirements from which the variance is requested would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of the property in question; or*
4. *That such exceptional situation or condition was not induced by any action of the applicant and is not a general condition throughout the zone district.*

Due to the subdivision process utilized to phase the project there is a property line that has been created between the existing initial four-plex building and the proposed new four-plex building that will not meet the side setback standard of 12.5 feet. The distance from the property line to the face of the new building will

range from 10 to 13 feet. The distance from the existing townhouse unit to the property line is over 15 feet, so the overall distance between buildings is equal to or greater than the overall combined setback of 25 feet. This side setback requirement is generally not meant to apply to the area between buildings in a multi-family townhouse project, however, as stated above, the process used to create the initial townhome lots did create a formal property line.

The water line that runs along the west side of the property was apparently constructed out of the designated easement. Relocating this water line into the correct easement is not an option and additional easement area will be granted to maintain the water line in its existing location. This has resulted in an unexpected design constraint to the property and creates a hardship to the applicant. However, through careful site planning and by utilizing a relatively narrow unit footprint the applicant has minimized the degree of variance to the greatest degree possible.

The applicant believes that this variance request is in compliance with all four of the above stated variance criteria.

The single-family house has a front setback requirement of 25 feet. Due to the constraints of the existing landscape easement and the excessive width of the Prince Alley road right of way the functional building envelope is very narrow. This application proposes a setback of 18 feet from the front property line for the side of the house along Prince Alley and a setback of 20 feet for the garage door facing north. Due to the width of the Prince Alley right of way and the location of the paved road within that right of way the building distance along the side of the house to the edge of asphalt is just over 35 feet. Due to the peculiar jog in the property line at the north end of the single family lot in order to accommodate the hammerhead turnaround for Prince Alley the distance from the property line to the garage doors is 19.75 feet, however the distance to the street is perceived as much greater.

This variance request is also without substantial detriment to the public good, the design represents the minimum variance relief necessary and the request also meets the description of both of the above stated criteria #3 and #4.

The submitted engineering plans include an exhibit that details the building siting, dimensions the setbacks and indicates the areas where variance is required.

Design Standard Variance Request

Chapter 4.07 of the Town of Eagle Land Use Regulations details various development standards for the design of improvements such as parking lots and access drives. Specifically, Section 4.07.050 L 1 (a) states that access drives shall be not less than 15 feet wide and not more than 35 feet wide at the intersection of the public street. The following Section 4.07.050 L 1 (b) states that any parking area serving more than a single family or duplex should be designed to allow cars to exit while driving in a forward direction.

The proposed four-plex building is located along Prince Alley in an area relatively proximate to Brush Creek. In order to respect the 50-foot stream setback it is necessary to design the parking with direct access onto Prince Alley. This creates a conflict with both the width and back up movement design standards. This design is consistent with the adjacent existing four-plex building.

Section 4.07.060 of the Land Use Regulations recognizes that these design standards may not always be achievable and grants the body authorizing the development permit to approve a variance from the standards where *“a finding is made that there exists on the property in question exceptional topography, soil, or other subsurface conditions, or other extraordinary conditions peculiar to the site.....would result in peculiar or exceptional practical difficulties to or exceptional hardship upon the applicant; or that the public good would be better served by granting the variance.”*

In this particular case the limited area between the public way and Brush Creek creates a design constraint that is best addressed by the proposed parking design. This allows the property to achieve a density close to that provided by zoning and to provide an appropriate mix of residential home types. As Prince Alley serves only about six homes beyond this driveway there should be no practical impact upon the public good.

Summary

This application includes all of the material necessary to adequately review the Major Development Permit and Variance application requests and meets the goals, objectives and policies of the Town of Eagle.

CREEKSIDE LOFTS - EAGLE, CO.



3 PLEX

OWNER

Creekside Lofts
Eagle Ranch Loft LLC

Red Mountain Land
232 W. Meadow Dr. Vail, Co. 81657
Eeves@hotmail.com
970.331.8617

ARCHITECT

SCOTT S. TURNIPSEED AIA
ARCHITECTURE, CONSTRUCTION,
& INTERIOR DESIGN
1143 CAPITOL STREET, SUITE 211
P.O. BOX 3388
EAGLE, COLORADO 81631
(970) 328-3900

GENERAL CONTRACTOR/ INTERIOR DESIGN

DAVE DANTAS

DW Dantas Construction, LLC
Phone 970.376.6111

www.DWDantas.com

CIVIL ENGINEERING

ALPINE ENGINEERING INC.

EDWARDS BUSINESS CENTER
P.O. BOX 97
EDWARDS, COLORADO 81632
970-926-3373

LANDSCAPE ARCHITECT

DENNIS ANDERSON
PO BOX 1387
Edwards, Co. 81632
970-390-3745

SURVEYOR

ARCHIBEQUE LAND CONSULTING, LLC
PO BOX 3893
EAGLE, CO. 81631
970-328-6020
ted@prolandsurvey.com

STRUCTURAL ENGINEER

ANDERSON STRUCTURAL
ENGINEERING INC.
LONDON ANDERSON
970-984-0320

DESIGN REVIEW BOARD

NA

TOWN OF EAGLE BUILDING DEPARTMENT

Building Department
Bob Kohrmann, Building Official
inspector@townofeagle.org
970-328-9657

DRAWING INDEX

ARCHITECTURAL
A0.0 COVER SHEET
A2.1 LOWER LEVEL FLOOR PLAN
A2.2 MAIN LEVEL FLOOR PLAN
A2.3 UPPER LEVEL FLOOR PLAN
A2.4 ROOF PLAN
A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS
A4.1 BUILDING SECTIONS
A4.2 BUILDING SECTIONS
A5.1 BUILDING DETAILS ARCHITECTURAL

STRUCTURALS
S1.0 GENERAL NOTES
S1.1 FOUNDATION LOWER LEVEL PLAN
S1.2 FRAMING PLAN MAIN LEVEL
S1.3 FRAMING PLAN ROOF
S5.1 SECTIONS AND DETAILS
S5.2 SECTIONS AND DETAILS
S5.3 SECTIONS AND DETAILS
S5.4 SECTIONS AND DETAILS

EXTERIOR DOWNLIGHT

*** FINAL FIXTURE PER OWNER**

GUIDELINES PER TOWN OF EAGLE
DEVELOPMENT PLAN

GROSS FLOOR AREAS SUMMARY:

OVERALL SQUARE FOOTAGE	
LOWER LEVEL	2,327 FIN. S.F.
UNFIN, MECH. & STORAGE AREAS	577 UNFIN S.F.
MAIN LEVEL	2,244 FIN. S.F.
EXT. DECK	506 S.F.
GARAGE UNFIN.	666 UNFIN. S.F.
UPPER LEVEL	1,640 FIN. S.F.
FINISHED S.F. TOTAL	6,211 FIN. S.F.
UNFINISHED S.F. TOTAL	1,243 UNFIN S.F.
EXTERIOR DECK S.F. TOTAL	506 S.F.

*** INDIVIDUAL UNIT S.F. ARE ON SHEETS A2.1-2.3**

PROJECT SUMMARY:

NEW BUILDING : MULTI-FAMILY RESIDENTIAL, TOWNHOMES
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE : V, 1 HR SEPERATION
NUMBER OF STORIES : THREE
BUILDING HEIGHT : 35'-0" MAX
ZONING : RESIDENTIAL
LOT AREA : 0.535 ACRES
SETBACKS: BUILDING ENVELOPE SHOWN
PARKING : 1 CAR GARAGE PER UNIT

TURNIPSEED

ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN

SINCE 1995

CREEKSIDE LOFTS
3 PLEX BUILDING
UNITS 722, 723, & 724 PRINCE ALLEY
EAGLE, COLORADO 81631

ISSUE:	DATE:
CLIENT REVIEW	2.15.2016
CLIENT REVIEW	3.4.2016

PRE-ENGINEERING SET: JUNE 2016

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A0.0

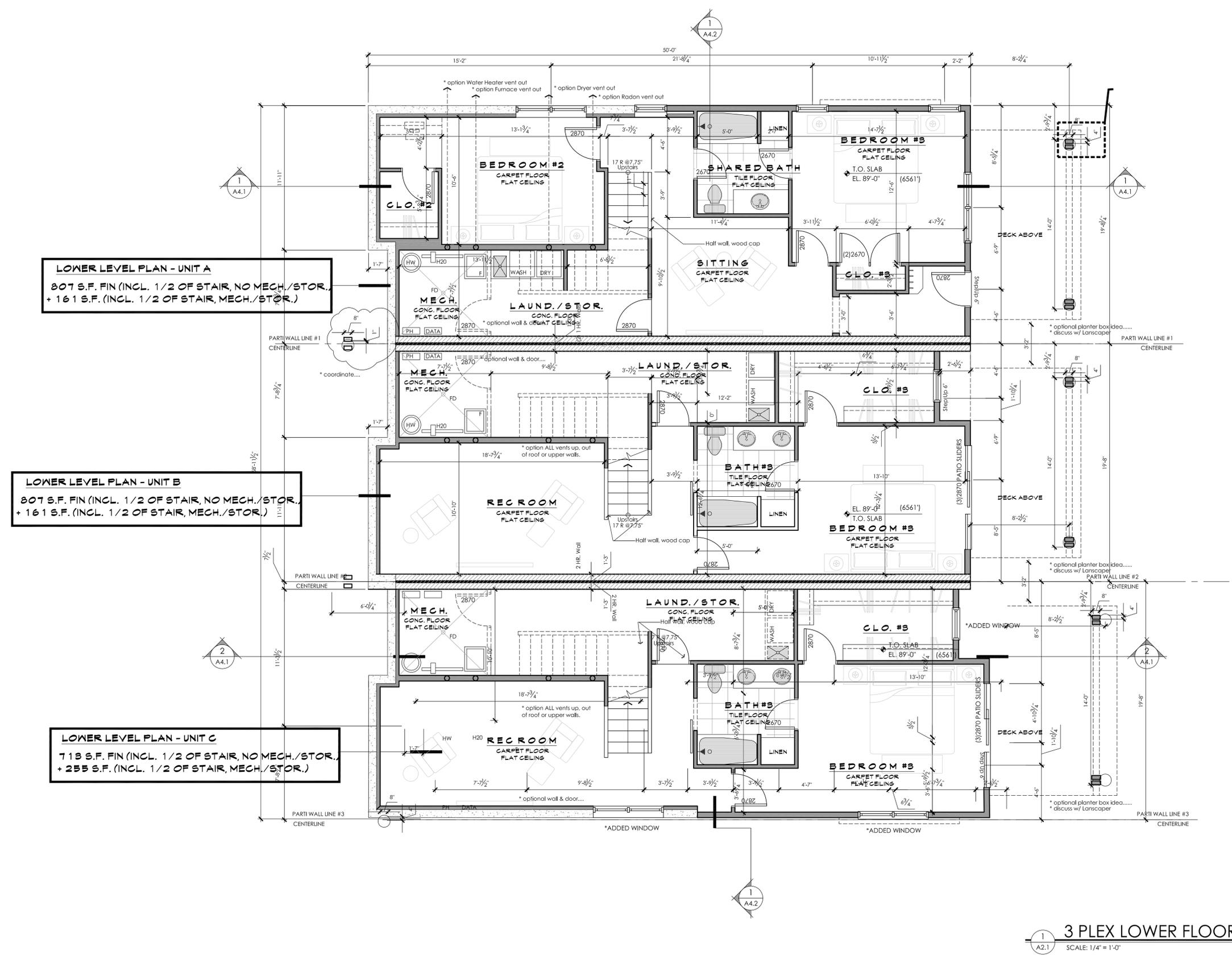
3 PLEX
COVER SHEET

CREEKSIDE LOFTS
 3 PLEX BUILDING
 UNITS 722, 723, & 724 PRINCE ALLEY
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A2.1
 3 PLEX LOWER
 FLOOR PLAN



LOWER LEVEL PLAN - UNIT A
 807 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.)
 + 161 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

LOWER LEVEL PLAN - UNIT B
 807 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.)
 + 161 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

LOWER LEVEL PLAN - UNIT C
 713 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.)
 + 255 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

3 PLEX LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

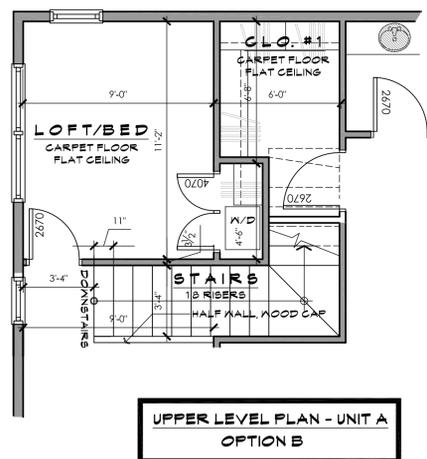
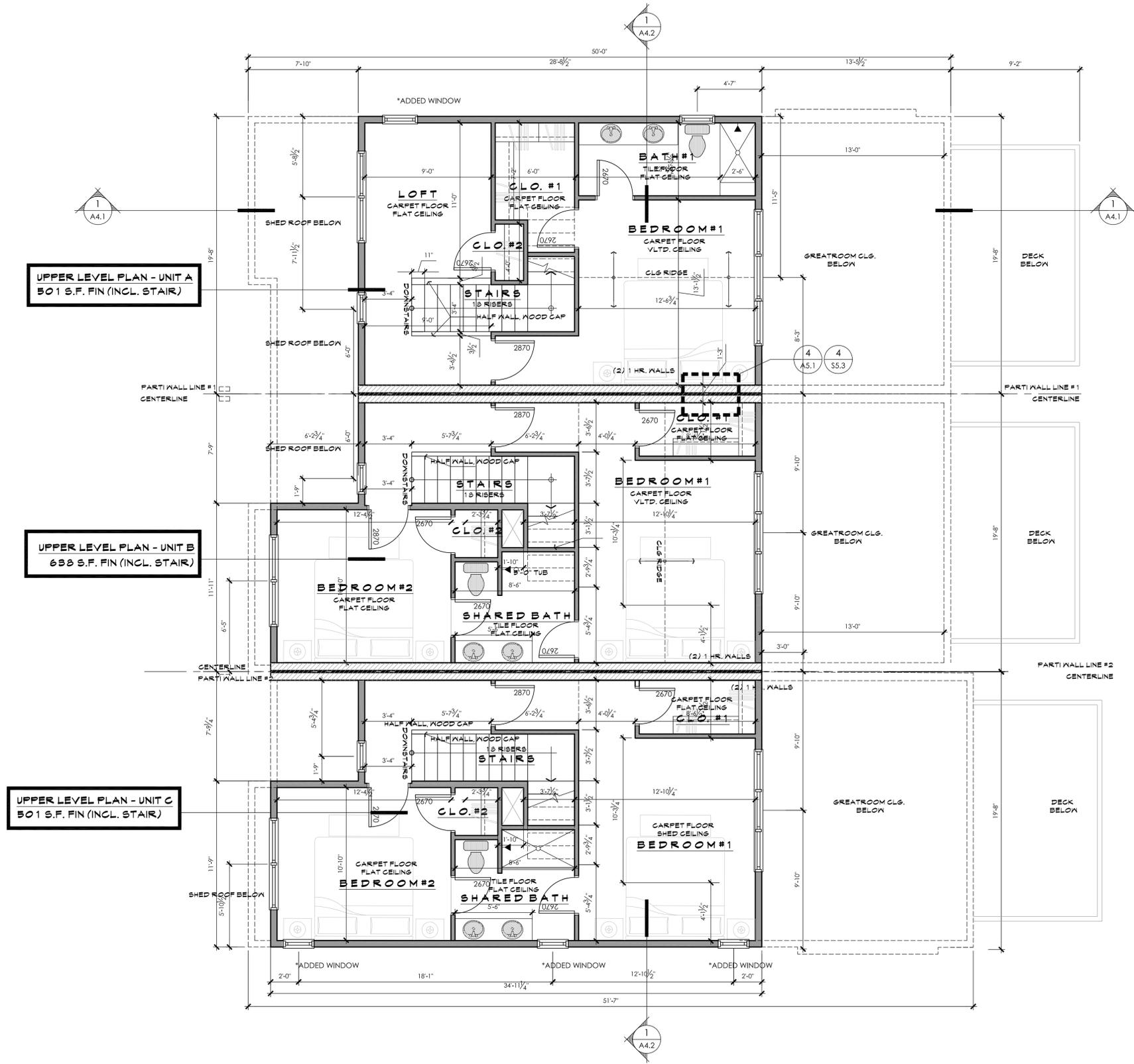
PRE-ENGINEERING SET: JUNE 2016

CREEKSIDE LOFTS
 3 PLEX BUILDING
 UNITS 722, 723, & 724 PRINCE ALLEY
 EAGLE, COLORADO 81631

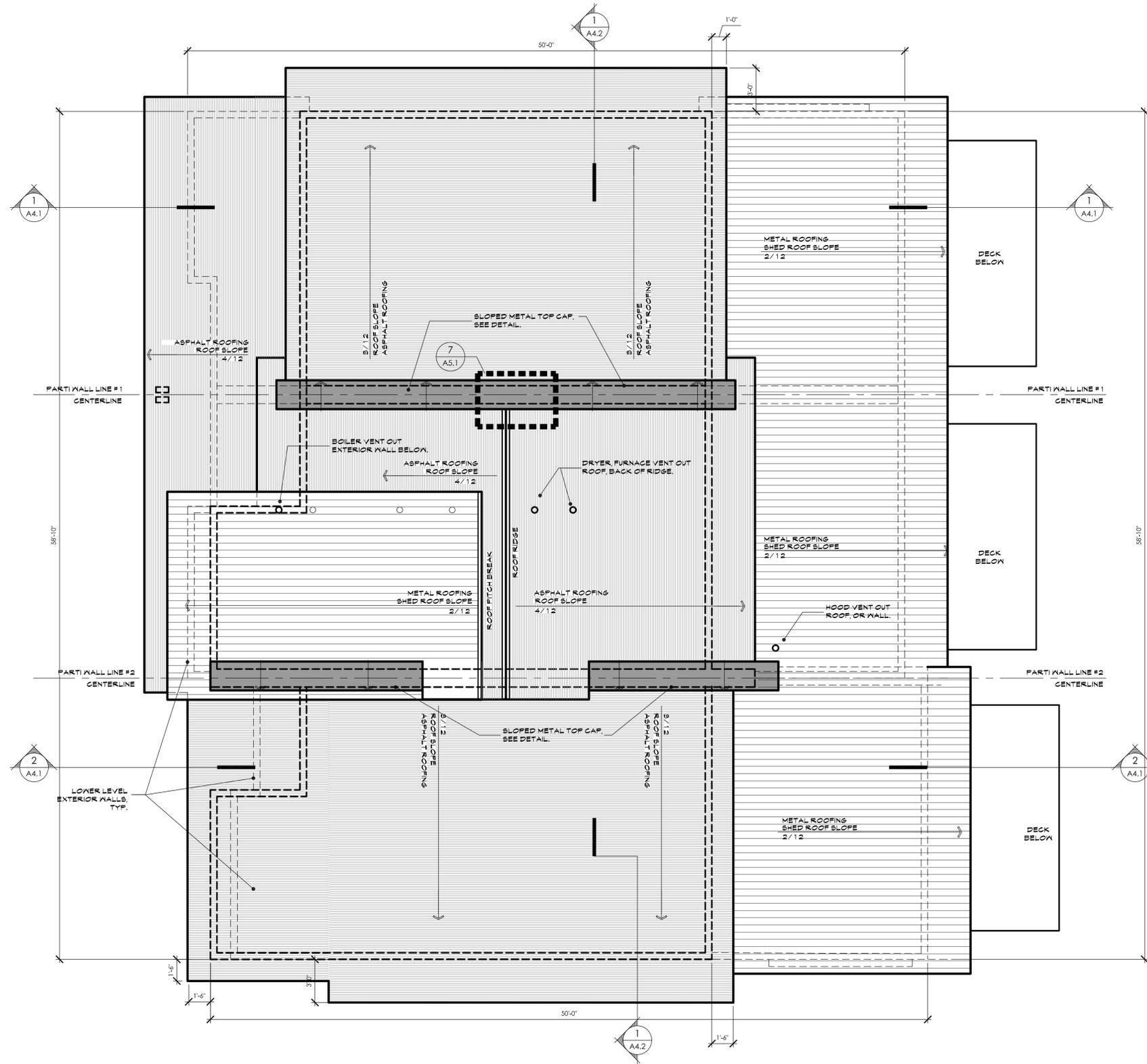
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PRE-ENGINEERING SET: JUNE 2016



3 PLEX UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH



1 A4.2
3 PLEX ROOF PLAN
 SCALE: 1/4" = 1'-0"

 NORTH

PRE-ENGINEERING SET: JUNE 2016



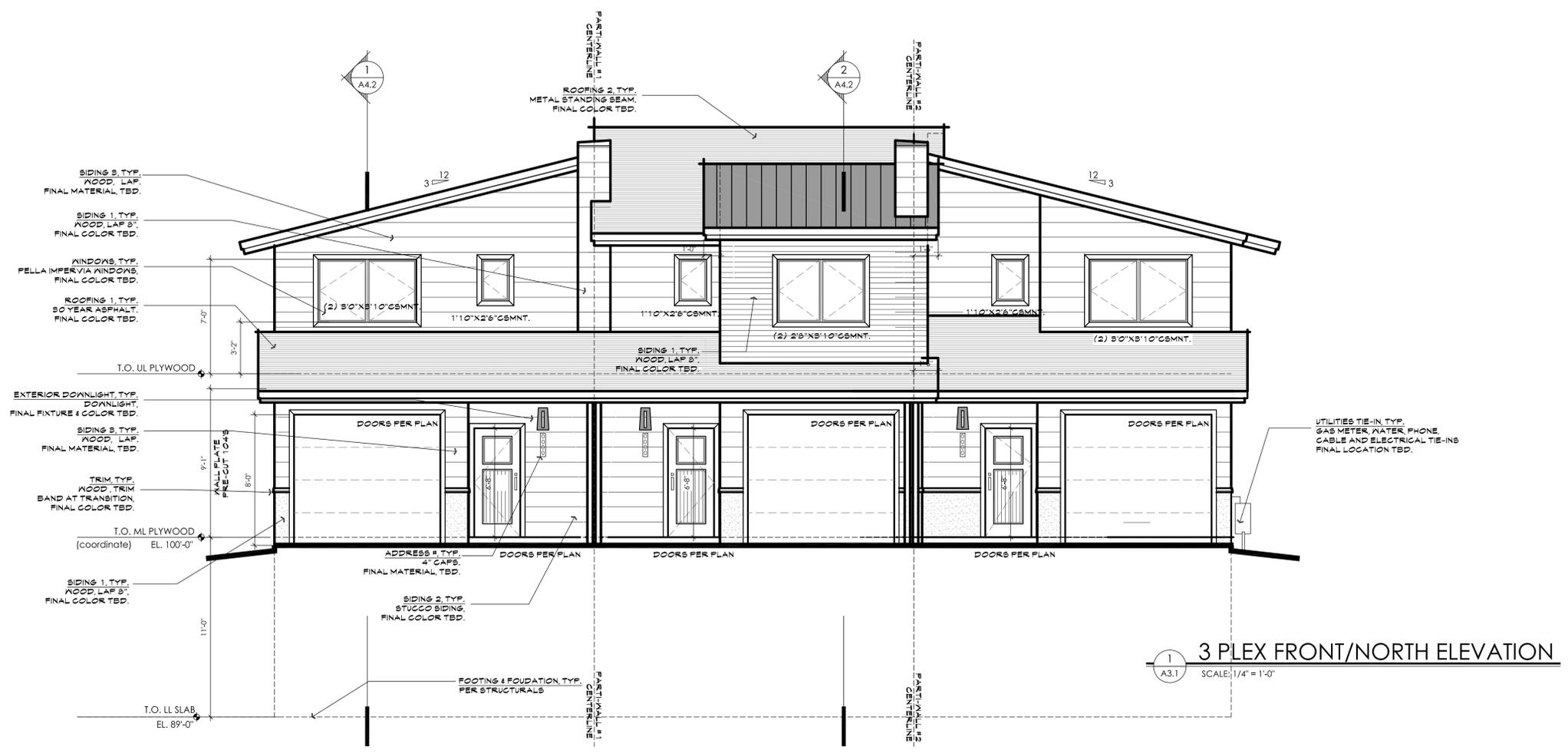
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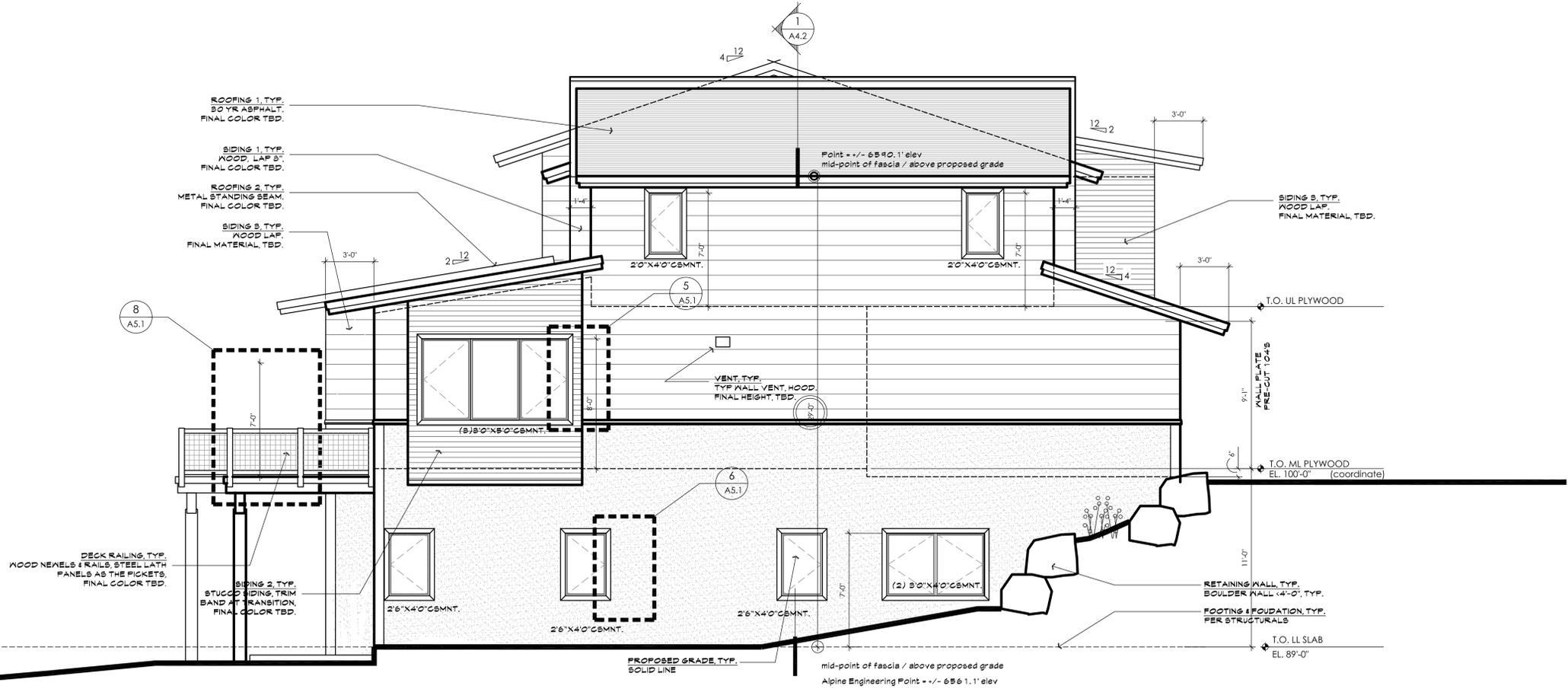
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A2.4

3 PLEX ROOF FLOOR PLAN



3 PLEX FRONT/NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 PLEX SIDE/EAST ELEVATION
SCALE: 1/4" = 1'-0"

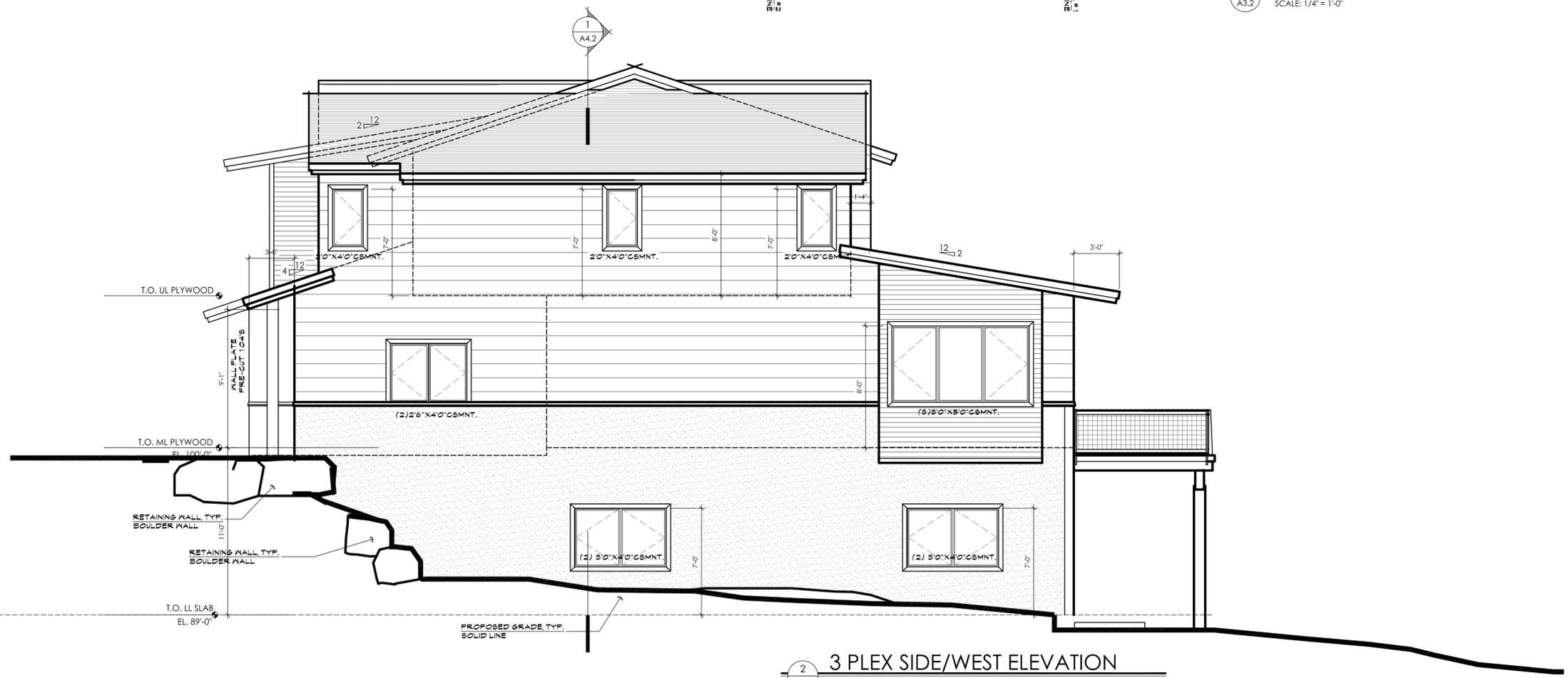
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1
A3.2
3 PLEX BACK/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A3.2
3 PLEX SIDE/WEST ELEVATION
SCALE: 1/4" = 1'-0"



CREEKSIDE LOFTS
3 PLEX BUILDING
 UNITS 722, 723, & 724 PRINCE ALLEY
 EAGLE, COLORADO 81631

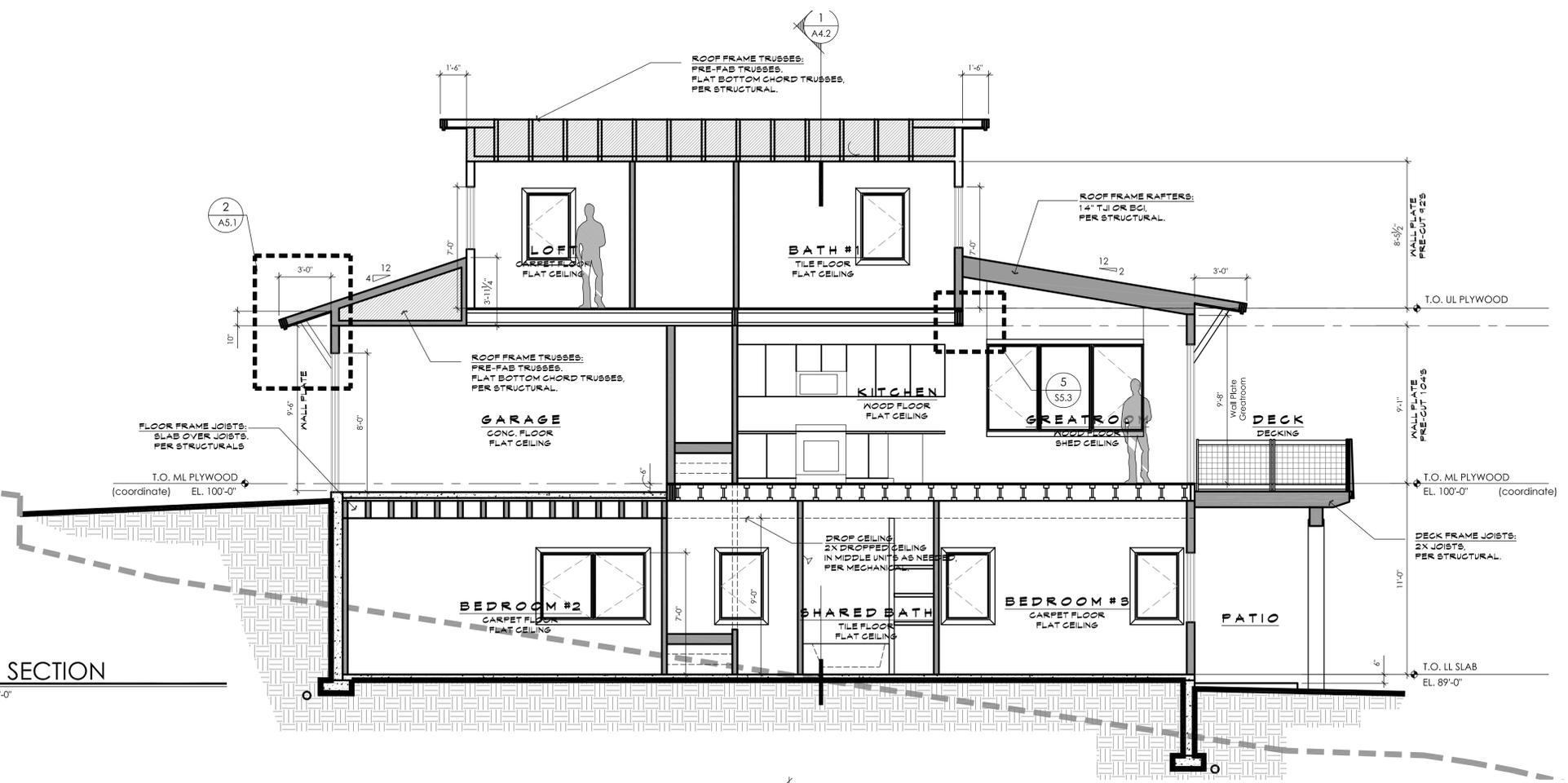
PRE-ENGINEERING SET: JUNE 2016

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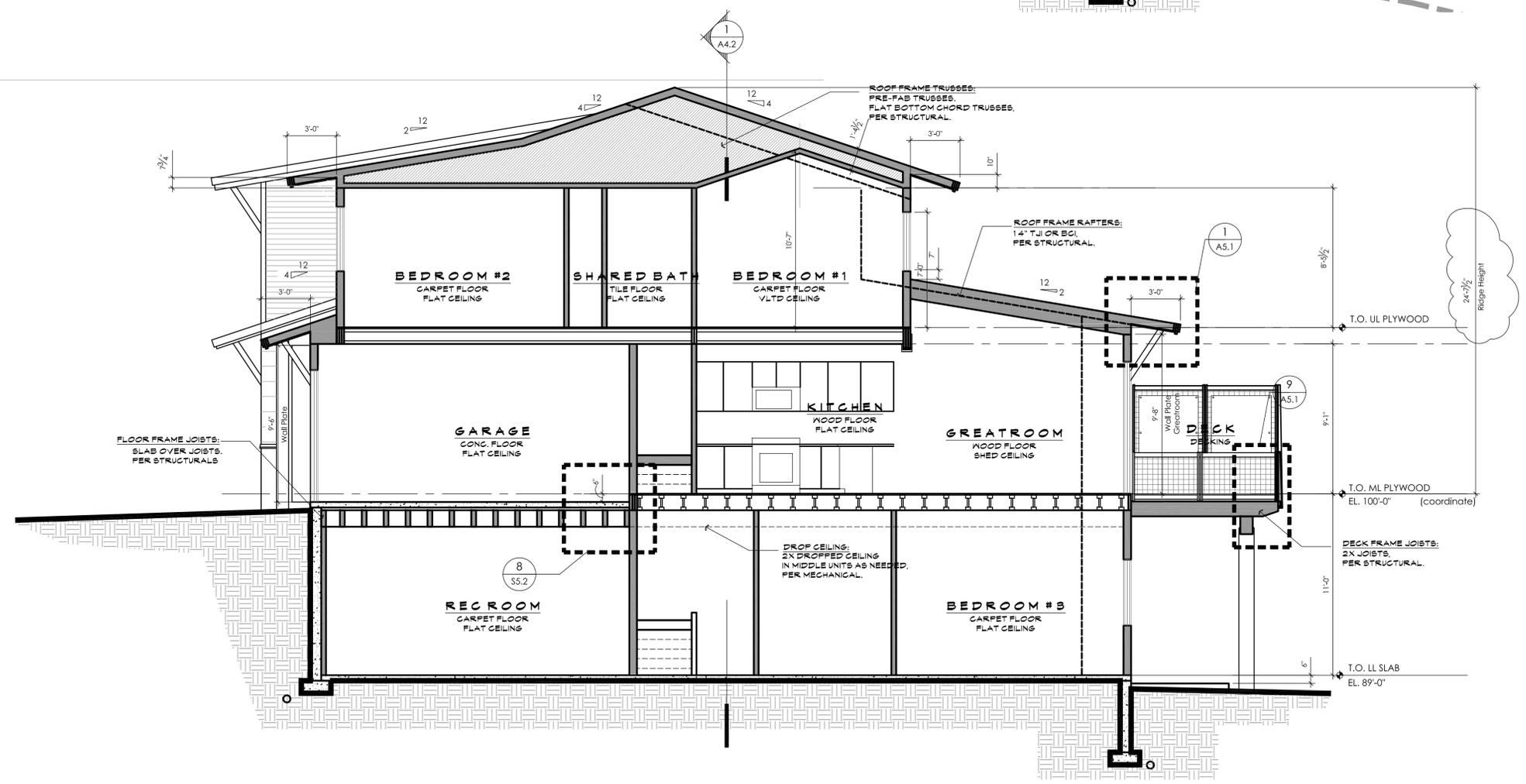
SCOTT S. TURNIPSEED AIA
 ARCHITECTURE
 & CONSTRUCTION INC.
 P.O. BOX 3388
 1145 GARFIELD STREET, SUITE 211
 EAGLE, COLORADO 81631
 970.328.3900 WWW.SSTAK.COM

A3.2
 3 PLEX
 ELEVATIONS

1 BLDG. SECTION
 A4.1 SCALE: 1/4" = 1'-0"



2 BLDG. SECTION
 A4.1 SCALE: 1/4" = 1'-0"



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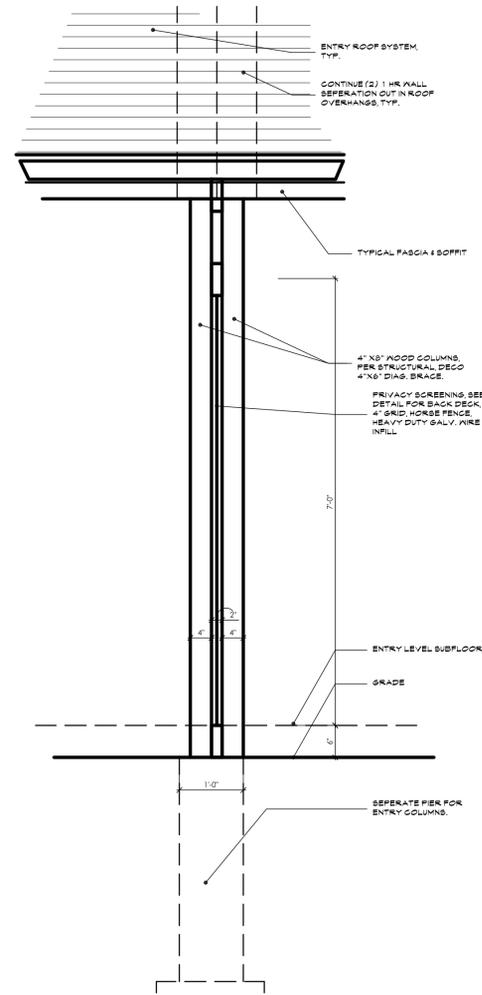


1 BLDG. SECTION
A4.2 SCALE: 1/4" = 1'-0"

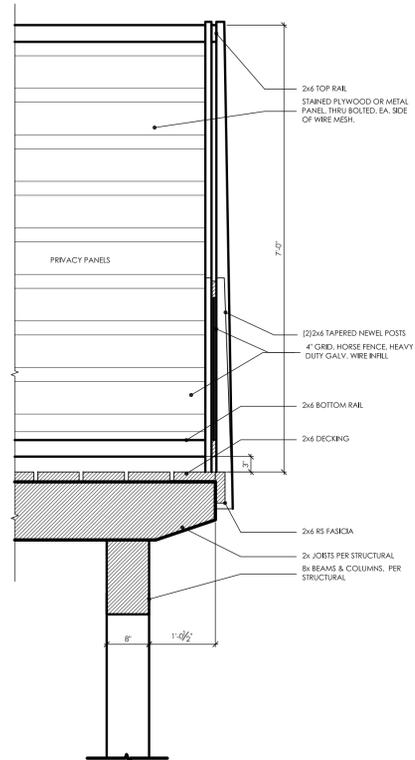
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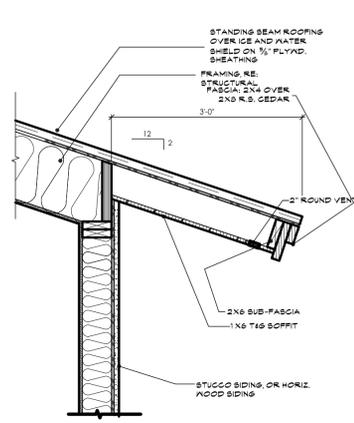
SCOTT S. TURNIPSEED AIA
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& CONSTRUCTION INC.
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1143 CAPITOL STREET, SUITE 211
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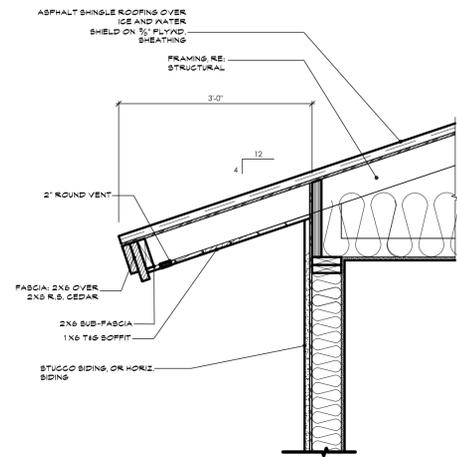
7 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



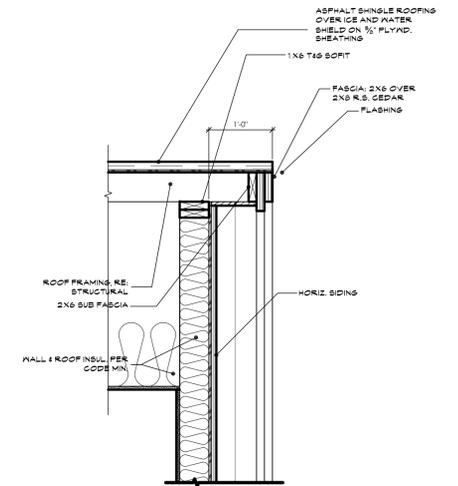
8 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



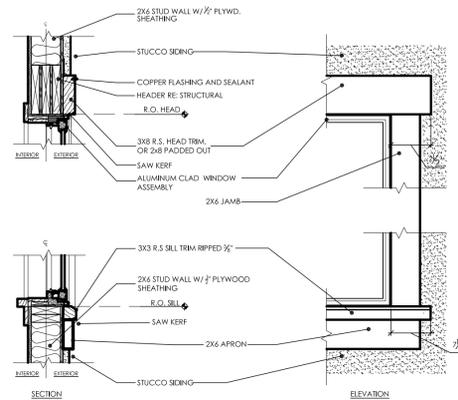
1 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



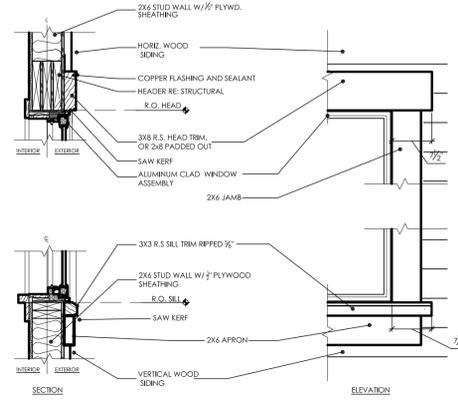
2 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



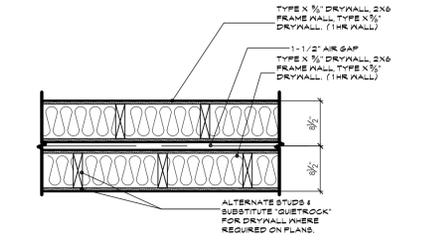
3 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



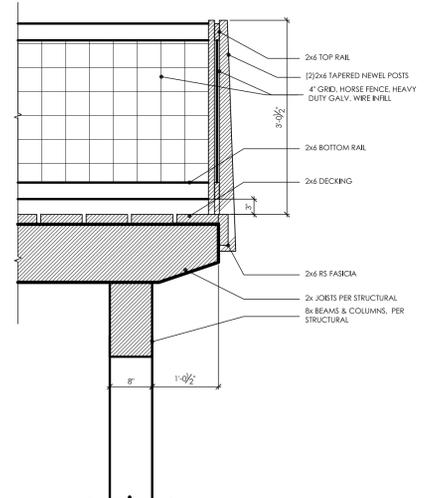
6 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



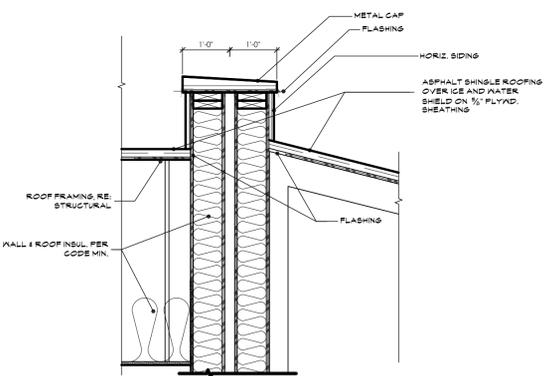
5 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



4 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



9 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



10 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"

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CREEKSIDE LOFTS - EAGLE, CO.



4 PLEX

OWNER

Creekside Lofts
Eagle Ranch Loft LLC

Red Mountain Land
232 W. Meadow Dr. Vail, Co. 81657
Eeves@hotmail.com
970.331.8617

ARCHITECT

SCOTT S. TURNIPSEED AIA
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& INTERIOR DESIGN
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GENERAL CONTRACTOR/ INTERIOR DESIGN

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ALPINE ENGINEERING INC.

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LANDSCAPE ARCHITECT

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SURVEYOR

ARCHIBEQUE LAND CONSULTING, LLC
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970-328-6020
ted@prolandsurvey.com

STRUCTURAL ENGINEER

ANDERSON STRUCTURAL
ENGINEERING INC.
LONDON ANDERSON
970-984-0320

DESIGN REVIEW BOARD

NA

TOWN OF EAGLE BUILDING DEPARTMENT

Building Department
Bob Kohrmann, Building Official
inspector@townofeagle.org
970-328-9657

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A2.2 MAIN LEVEL FLOOR PLAN
A2.3 UPPER LEVEL FLOOR PLAN
A2.4 ROOF PLAN
A3.1 BUILDING ELEVATIONS
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A5.1 BUILDING DETAILS ARCHITECTURAL

STRUCTURALS
S1.0 GENERAL NOTES
S1.1 FOUNDATION LOWER LEVEL PLAN
S1.2 FRAMING PLAN MAIN LEVEL
S1.3 FRAMING PLAN ROOF
S5.1 SECTIONS AND DETAILS
S5.2 SECTIONS AND DETAILS
S5.3 SECTIONS AND DETAILS
S5.4 SECTIONS AND DETAILS

GROSS FLOOR AREAS SUMMARY:

OVERALL SQUARE FOOTAGE	
LOWER LEVEL	3,228 FIN. S.F.
UNFIN, MECH. & STORAGE AREAS	644 UNFIN S.F.
MAIN LEVEL	2,992 FIN. S.F.
EXT. DECK	675 S.F.
GARAGE UNFIN.	1,110 UNFIN. S.F.
UPPER LEVEL	2,278 FIN. S.F.
FINISHED S.F. TOTAL 8,498 FIN. S.F.	
UNFINISHED S.F. TOTAL	1,754 UNFIN S.F.
EXTERIOR DECK S.F. TOTAL	675 S.F.

* INDIVIDUAL UNIT S.F. ARE ON SHEETS A2.1-2.3

EXTERIOR DOWNLIGHT

*** FINAL FIXTURE PER OWNER**

GUIDELINES PER TOWN OF EAGLE
DEVELOPMENT PLAN

PROJECT SUMMARY:

NEW BUILDING : MULTI-FAMILY RESIDENTIAL, TOWNHOMES
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE : V, 1 HR SEPERATION
NUMBER OF STORIES : THREE
BUILDING HEIGHT : 35'-0" MAX
ZONING : RESIDENTIAL
LOT AREA : 0.535 ACRES
SETBACKS: BUILDING ENVELOPE SHOWN
PARKING : 1 CAR GARAGE PER UNIT

TURNIPSEED

ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN

SINCE 1995

CREEKSIDE LOFTS
4 PLEX BUILDING
UNITS 718, 719, 720 & 721 PRINCE ALLEY
EAGLE, COLORADO 81631

PRE-ENGINEERING SET: JUNE 2016

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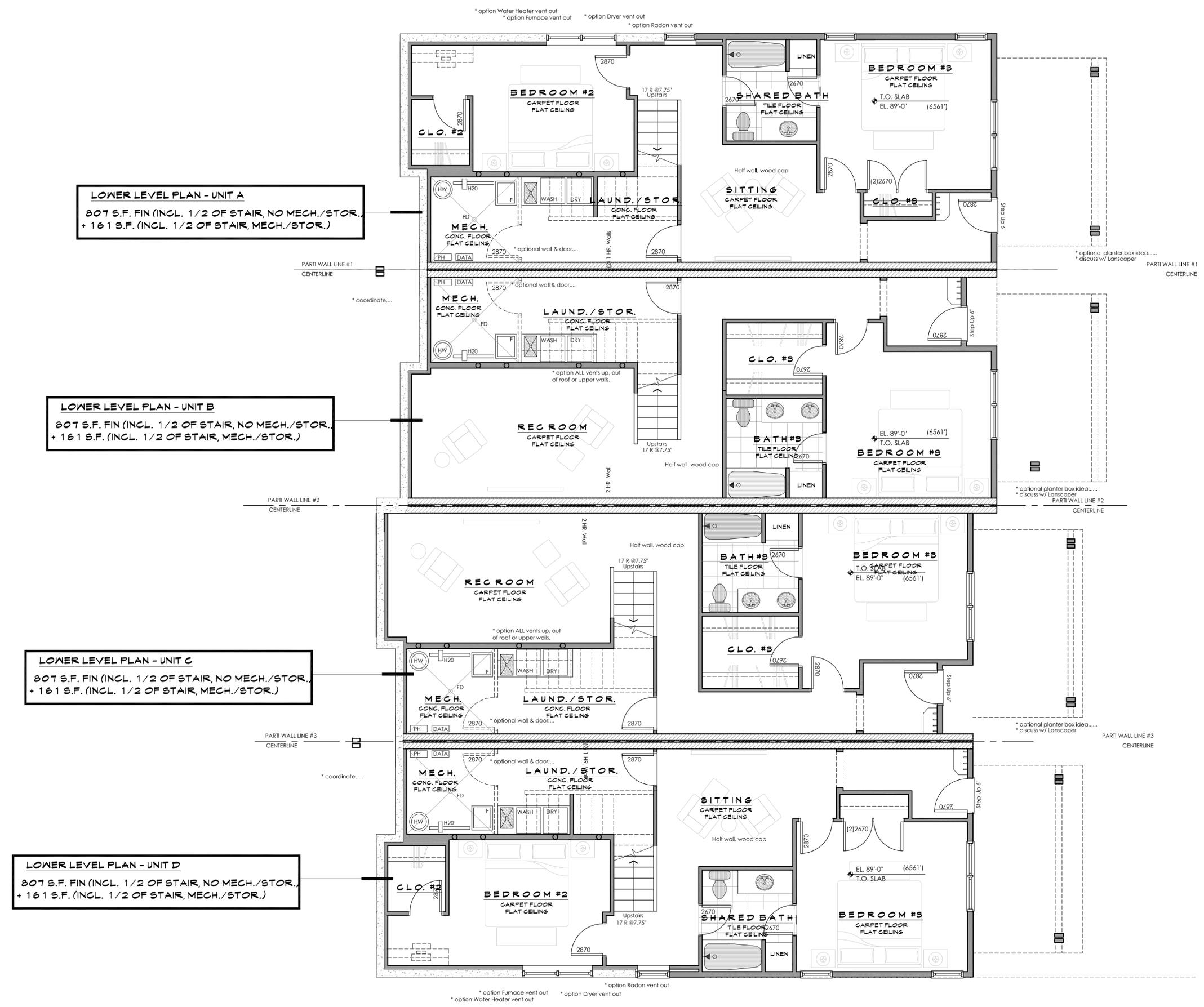
A0.0

BLDG. B
COVER SHEET

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LOWER LEVEL PLAN - UNIT A
807 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.,
+ 161 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

LOWER LEVEL PLAN - UNIT B
807 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.,
+ 161 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

LOWER LEVEL PLAN - UNIT C
807 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.,
+ 161 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

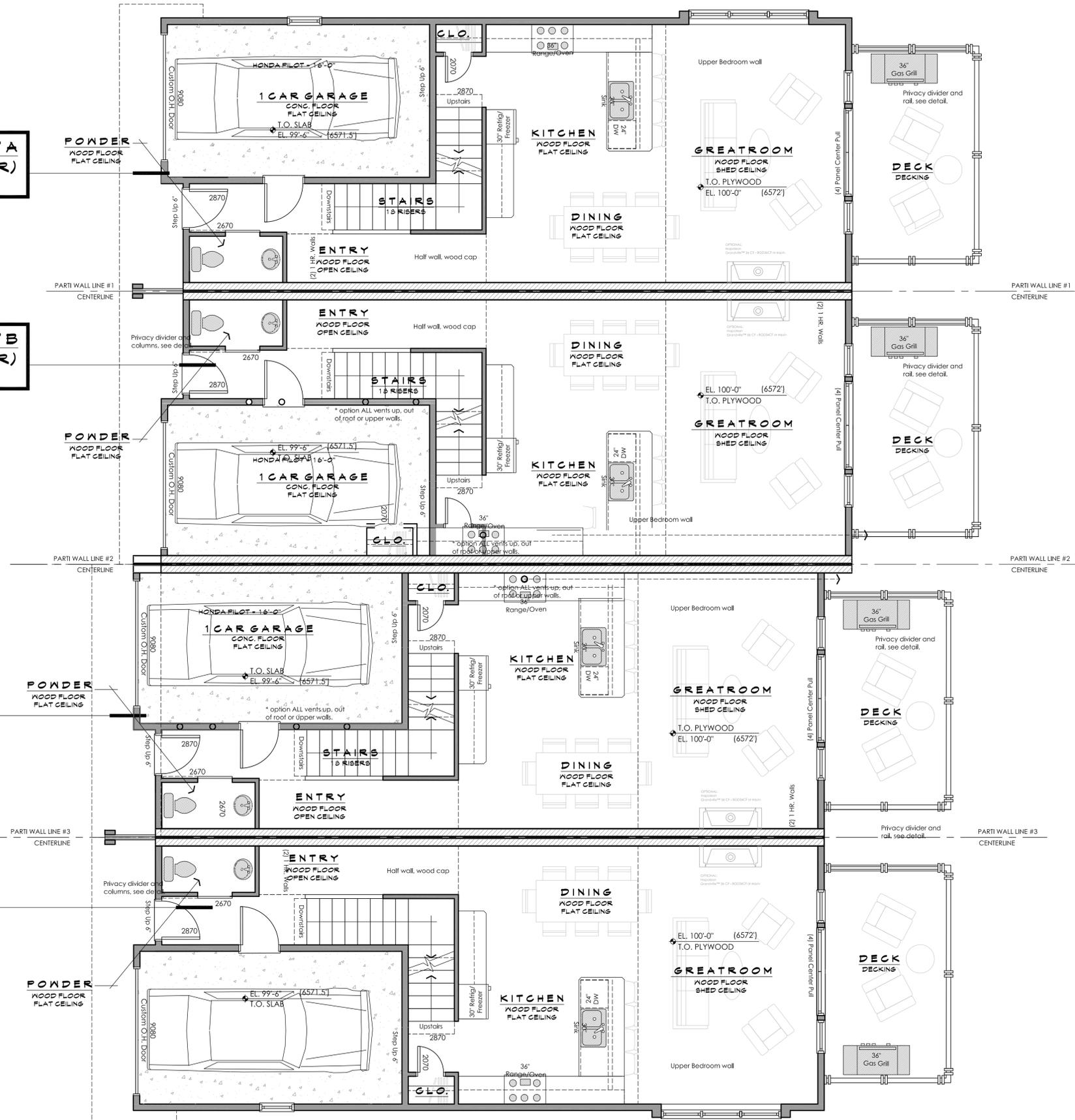
LOWER LEVEL PLAN - UNIT D
807 S.F. FIN (INCL. 1/2 OF STAIR, NO MECH./STOR.,
+ 161 S.F. (INCL. 1/2 OF STAIR, MECH./STOR.)

MAIN LEVEL PLAN - UNIT A
 748 S.F. FIN (INCL. STAIR)
 222 S.F. (GARAGE)

MAIN LEVEL PLAN - UNIT B
 748 S.F. FIN (INCL. STAIR)
 222 S.F. (GARAGE)

MAIN LEVEL PLAN - UNIT C
 748 S.F. FIN (INCL. STAIR)

MAIN LEVEL PLAN - UNIT D
 748 S.F. FIN (INCL. STAIR)



CREEKSIDE LOFTS
 4 PLEX BUILDING
 UNITS 718, 719, 720 & 721 PRINCE ALLEY
 EAGLE, COLORADO 81631

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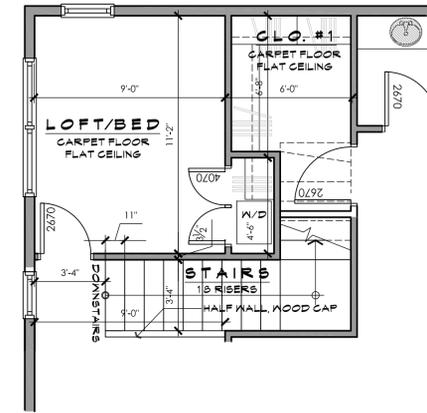
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A2.3

4 PLEX UPPER FLOOR PLAN



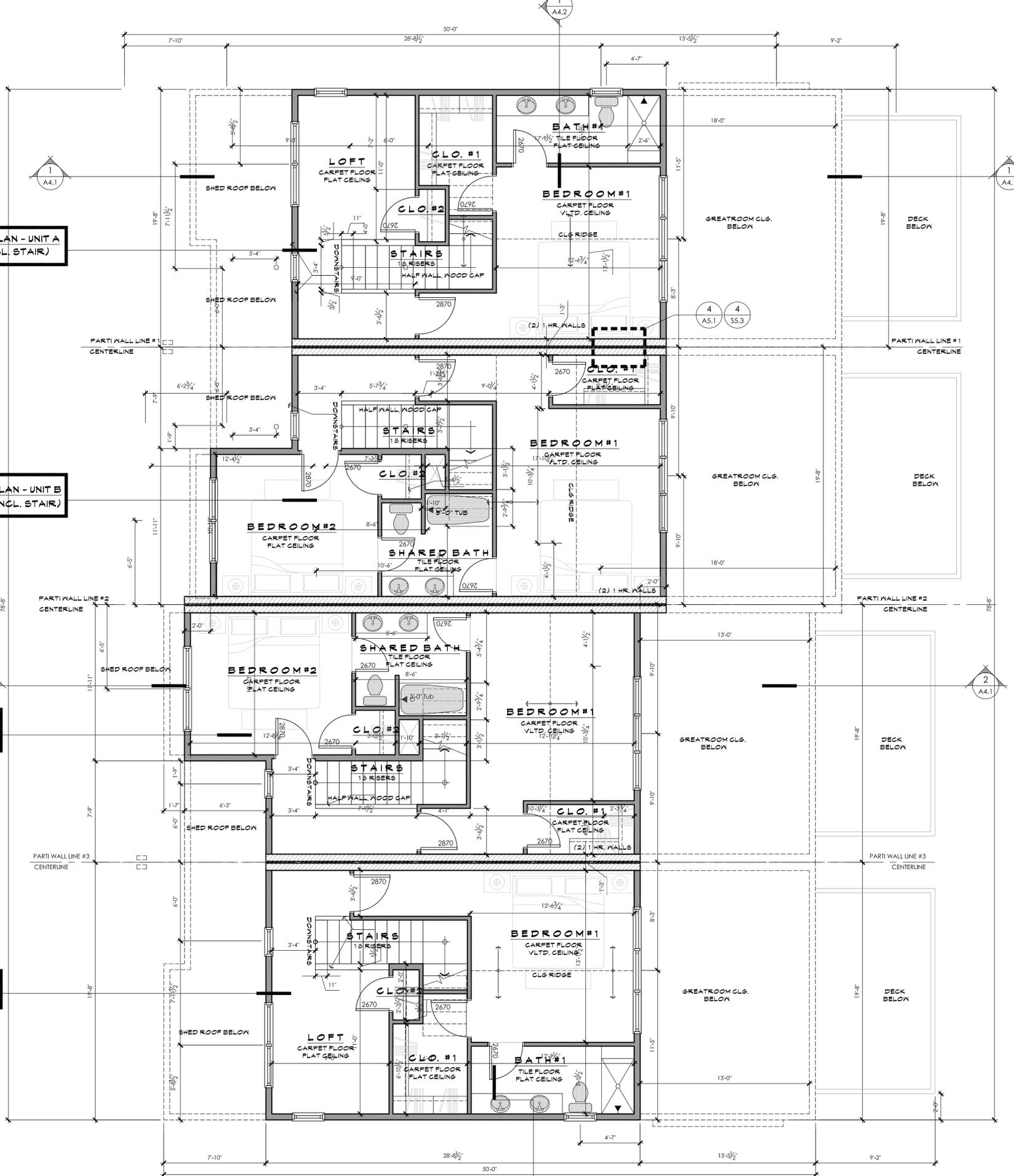
2
A2.3 LOFT OPTIONAL
SCALE: 1/4" = 1'-0"

1
A4.1 UPPER LEVEL PLAN - UNIT A
501 S.F. FIN (INCL. STAIR)

UPPER LEVEL PLAN - UNIT B
638 S.F. FIN (INCL. STAIR)

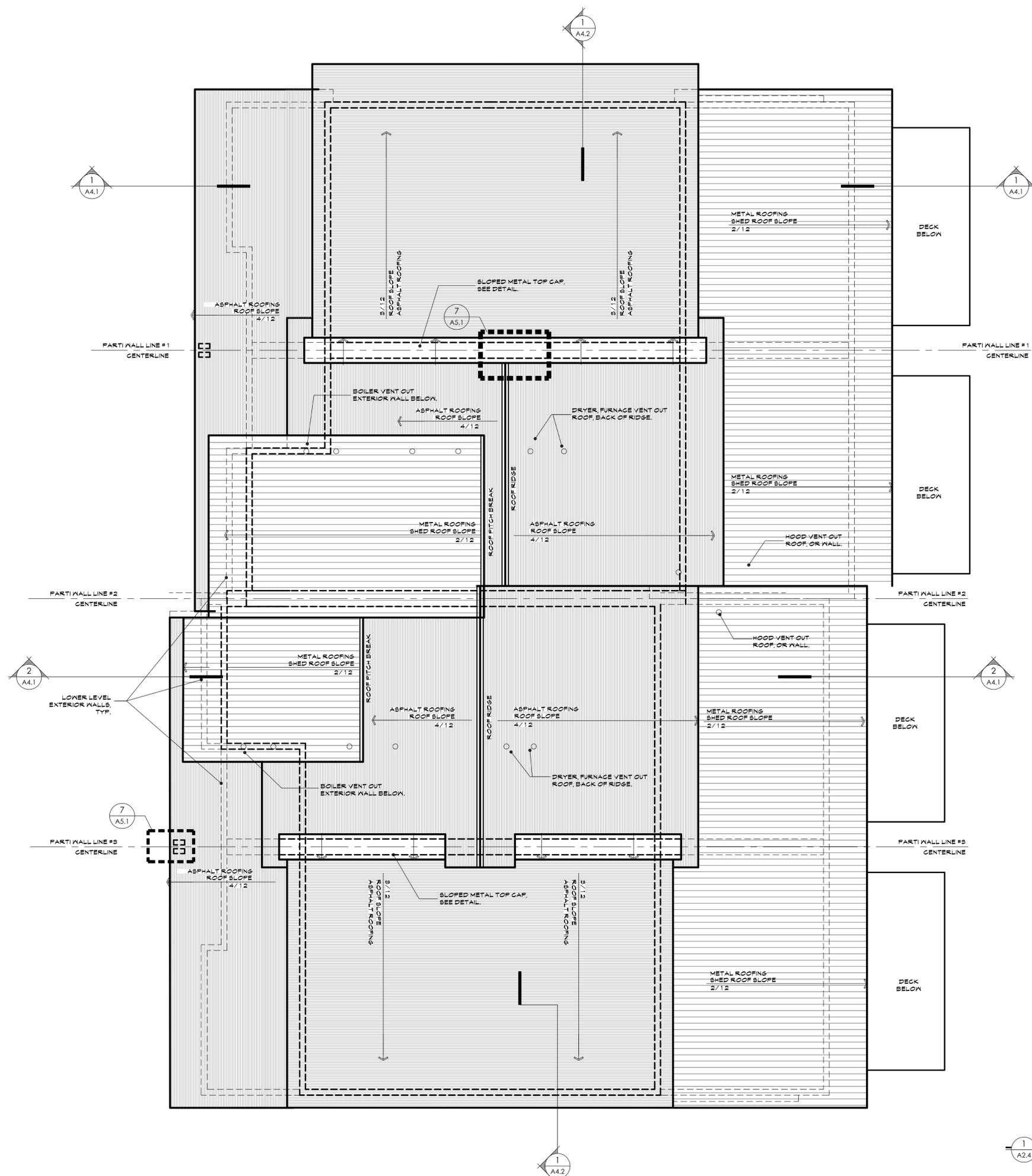
2
A4.1 UPPER LEVEL PLAN - UNIT C
638 S.F. FIN (INCL. STAIR)

UPPER LEVEL PLAN - UNIT D
501 S.F. FIN (INCL. STAIR)



1
A2.3 4 PLEX UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"





CREEKSIDE LOFTS
4 PLEX BUILDING
 UNITS 718, 719, 720 & 721 PRINCE ALLEY
 EAGLE, COLORADO 81631

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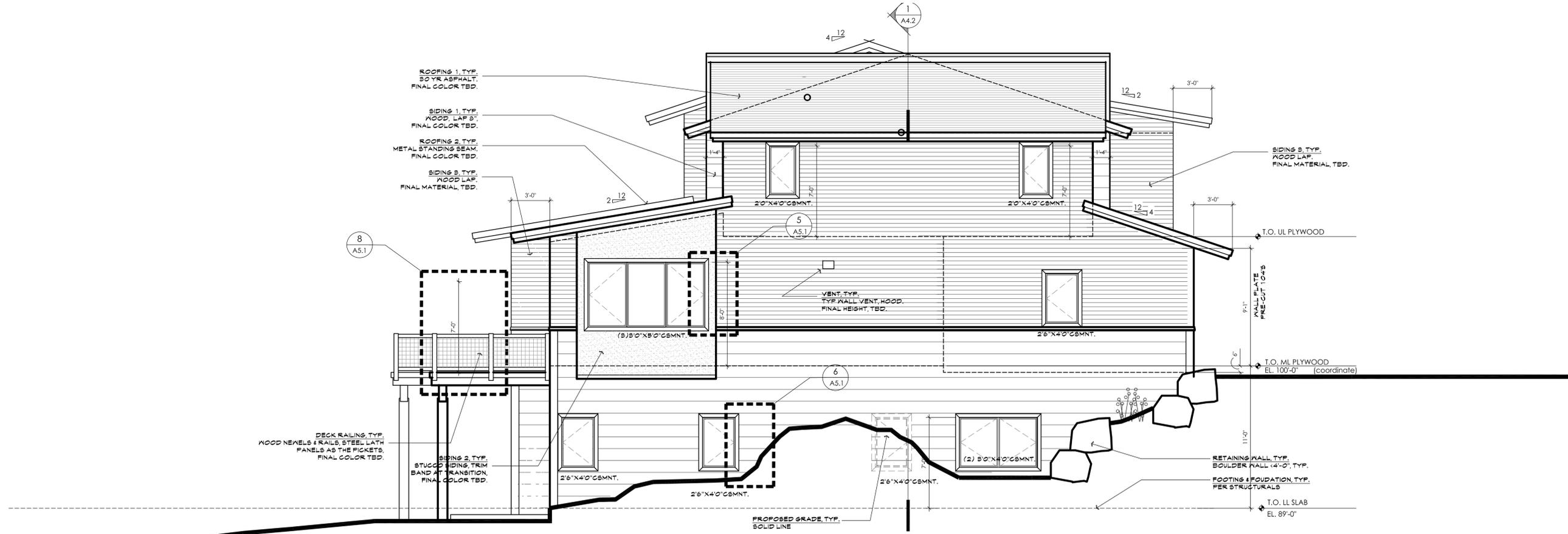
4 PLEX ROOF PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

A2.4
 4 PLEX ROOF PLAN

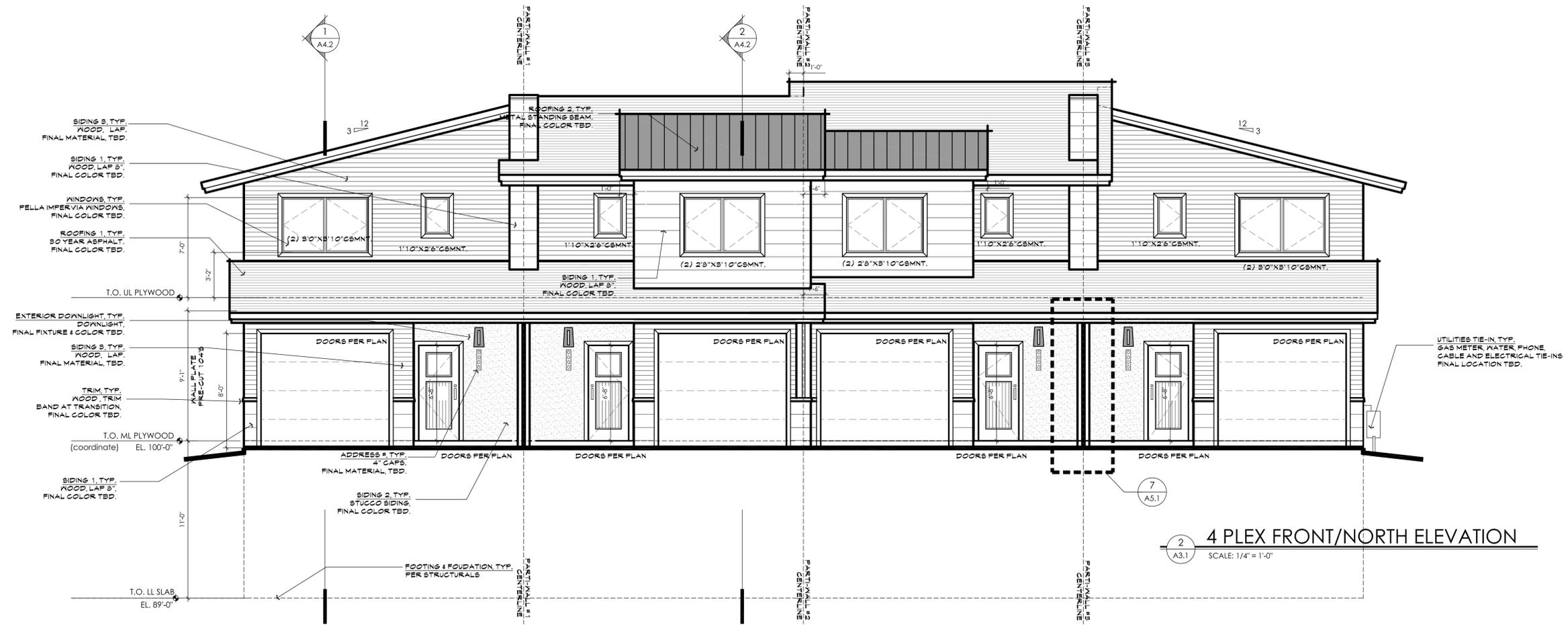
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1
A3.1
4 PLEX EAST ELEVATION
SCALE: 1/4" = 1'-0"



2
A3.1
4 PLEX FRONT/NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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1
A3.2
4 PLEX BACK/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



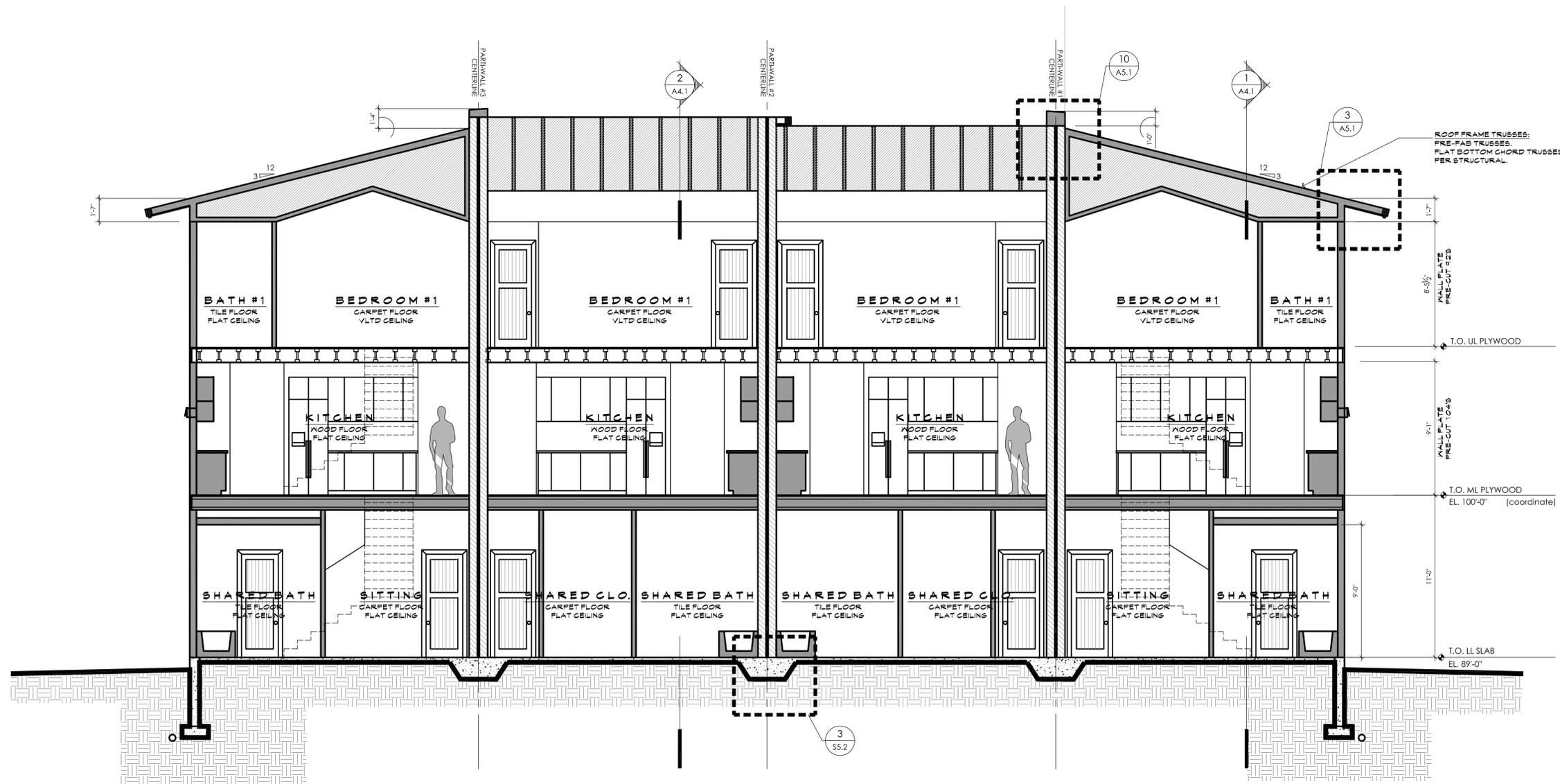
2
A3.2
4 PLEX WEST ELEVATION
SCALE: 1/4" = 1'-0"

CREEKSIDE LOFTS
4 PLEX BUILDING
UNITS 718, 719, 720 & 721 PRINCE ALLEY
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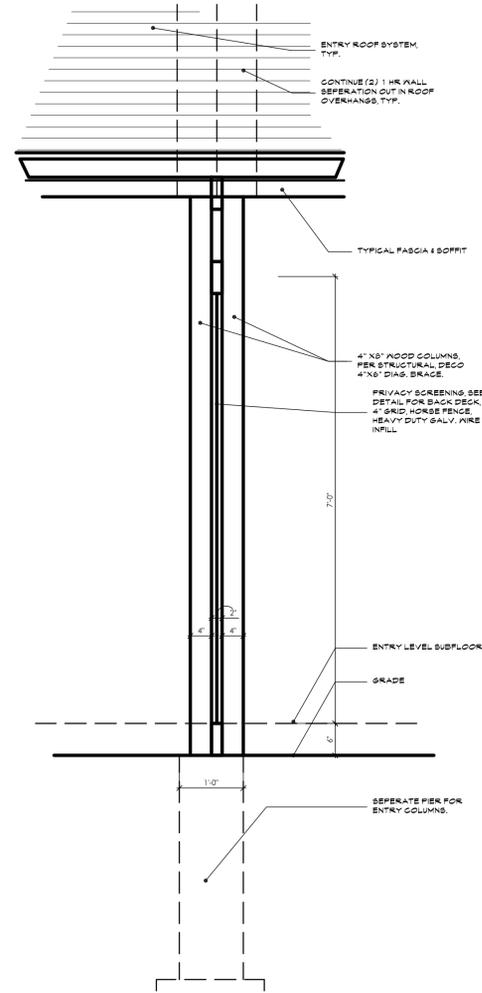
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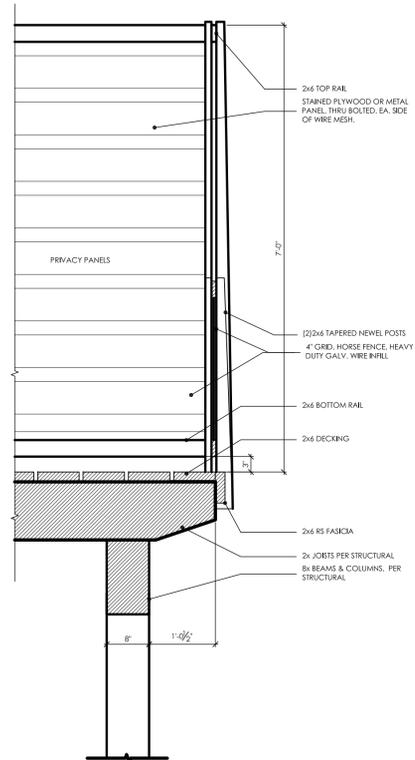
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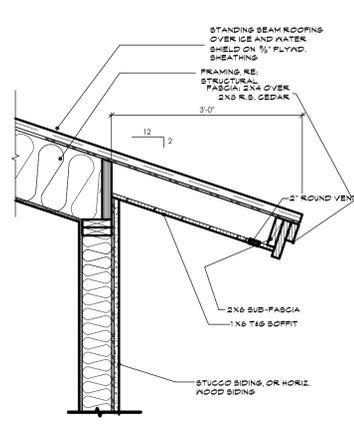
1 BLDG. SECTION
A4.1 SCALE: 1/4" = 1'-0"



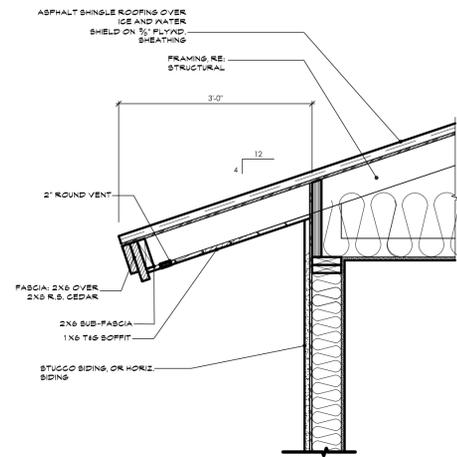
7 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



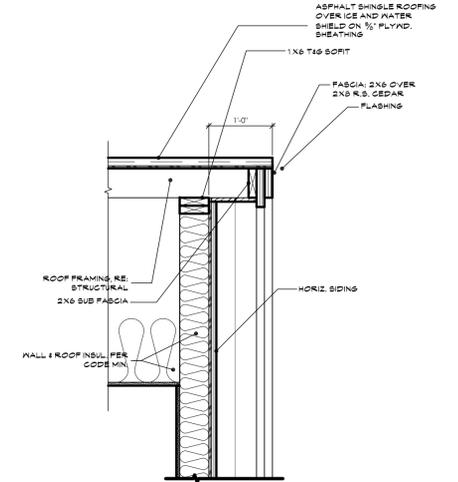
8 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



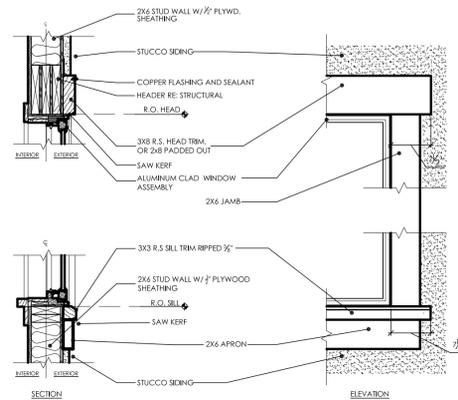
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A5.1 SCALE: 3/4" = 1'-0"



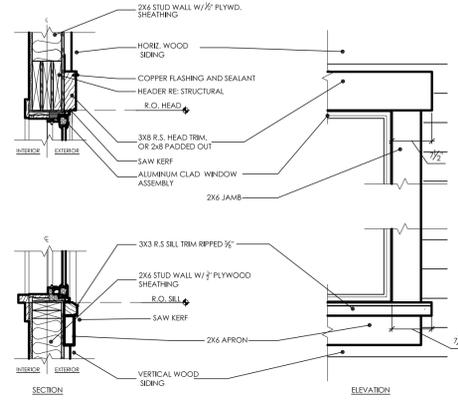
2 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



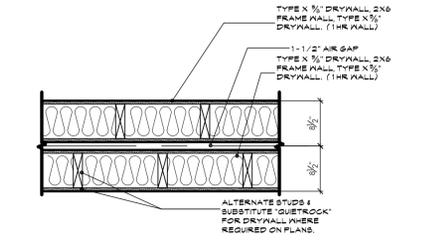
3 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



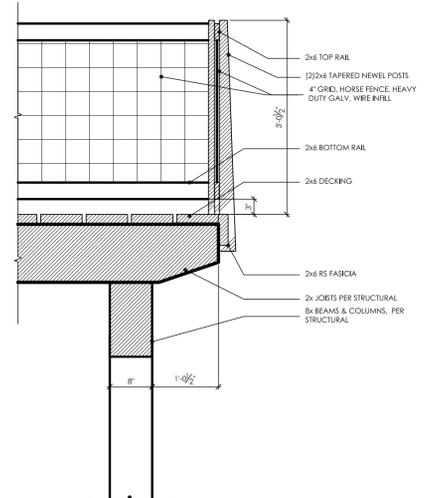
6 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



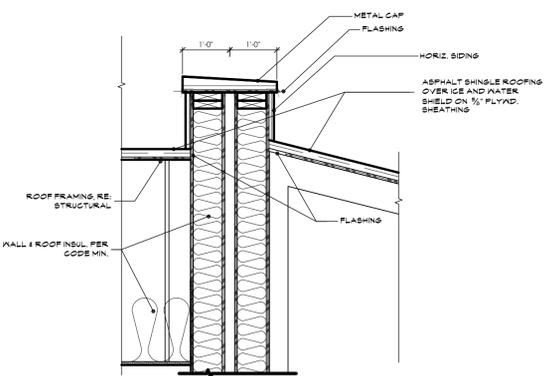
5 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



4 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



9 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"



10 BUILDING DETAIL
A5.1 SCALE: 3/4" = 1'-0"

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CREEKSIDE LOFTS - EAGLE, CO.



SINGLE FAMILY RESIDENCE

OWNER

Crekside Lofts
Eagle Ranch Loft LLC

Red Mountain Land
232 W. Meadow Dr. Vail, Co. 81657
Eeves@hotmail.com
970.331.8617

ARCHITECT

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STRUCTURAL ENGINEER

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ENGINEERING INC.
LONDON ANDERSON
970-984-0320

DESIGN REVIEW BOARD

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TOWN OF EAGLE BUILDING DEPARTMENT

Building Department
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970-328-9657

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A4.1 BUILDING SECTIONS
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A5.1 BUILDING DETAILS ARCHITECTURAL

STRUCTURAL
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S1.2 FRAMING PLAN MAIN LEVEL
S1.3 FRAMING PLAN ROOF
S5.1 SECTIONS AND DETAILS
S5.2 SECTIONS AND DETAILS
S5.3 SECTIONS AND DETAILS
S5.4 SECTIONS AND DETAILS

GROSS FLOOR AREAS SUMMARY:

OVERALL SQUARE FOOTAGE	
LOWER LEVEL	1,047 FIN. S.F.
MAIN LEVEL	1,110 FIN. S.F.
EXT. DECK	278 S.F.
GARAGE UNFIN.	509 UNFIN. S.F.
UPPER LEVEL	886 FIN. S.F.
FINISHED S.F. TOTAL	3,043 FIN. S.F.
UNFINISHED S.F. TOTAL	509 UNFIN. S.F.
EXTERIOR DECK S.F. TOTAL	278 S.F.

EXTERIOR DOWNLIGHT

*** FINAL FIXTURE PER OWNER**

GUIDELINES PER TOWN OF EAGLE
DEVELOPMENT PLAN

PROJECT SUMMARY:

NEW BUILDING : SINGLE FAMILY RESIDENTIAL
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE : V
NUMBER OF STORIES : TWO
BUILDING HEIGHT : 35'-0" MAX
ZONING : RESIDENTIAL
LOT AREA : 0.535 ACRES
SETBACKS: BUILDING ENVELOPE SHOWN
PARKING : 2 INSIDE, 2 OUTSIDE

TURNIPSEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

CREEKSIDE LOFTS
SINGLE FAMILY RESIDENCE
725 PRINCE ALLEY
EAGLE, COLORADO 81631

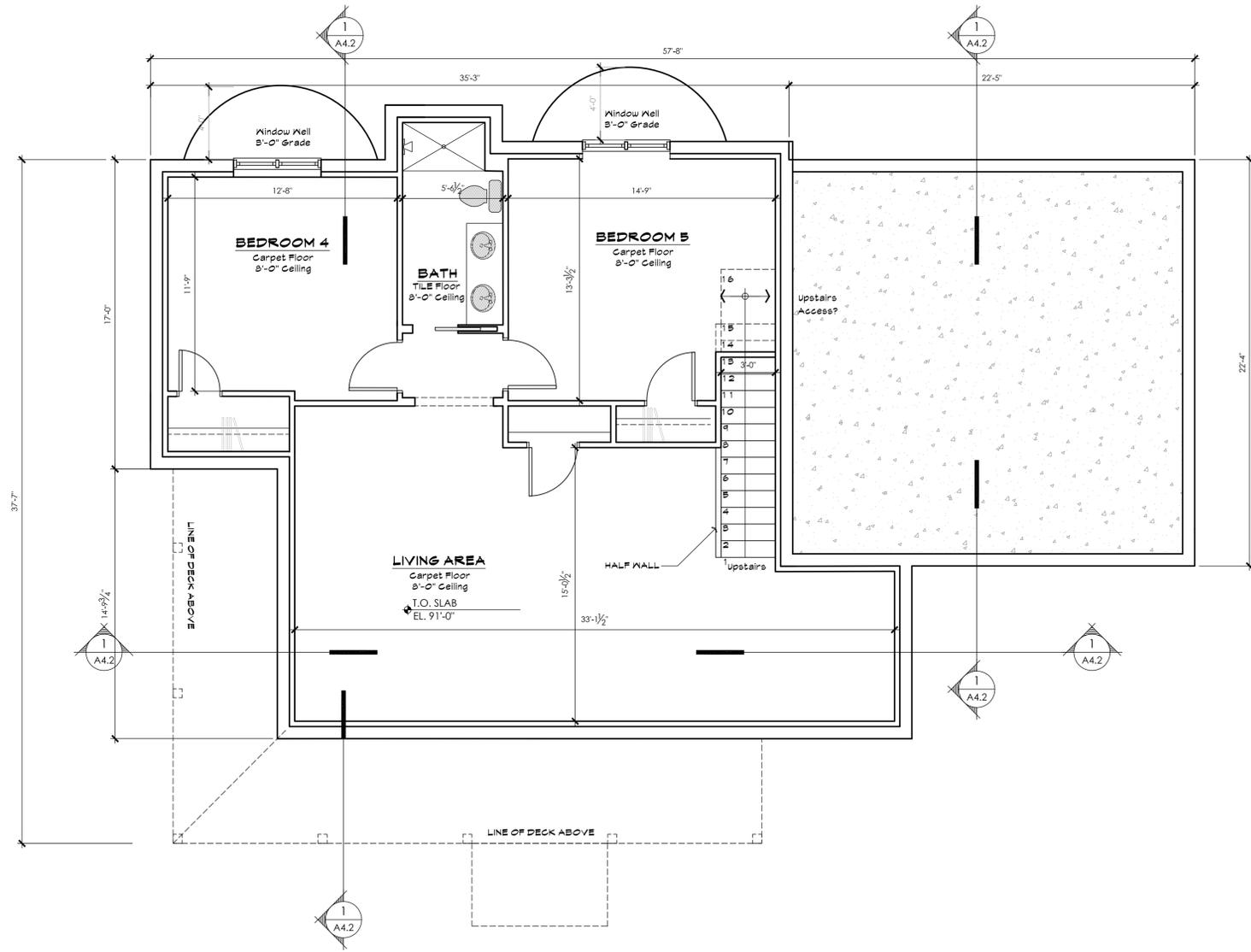
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EAGLE, COLORADO 81631
970.328.3900 WWW.SSTAA.COM

A0.0

SINGLE FAMILY
COVER SHEET



LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

SQUARE FOOTAGE CALC.:
 1,047 S.F. FINISHED



CREEKSIDE LOFTS
 SINGLE FAMILY RESIDENCE
 725 PRINCE ALLEY
 EAGLE, COLORADO 81631

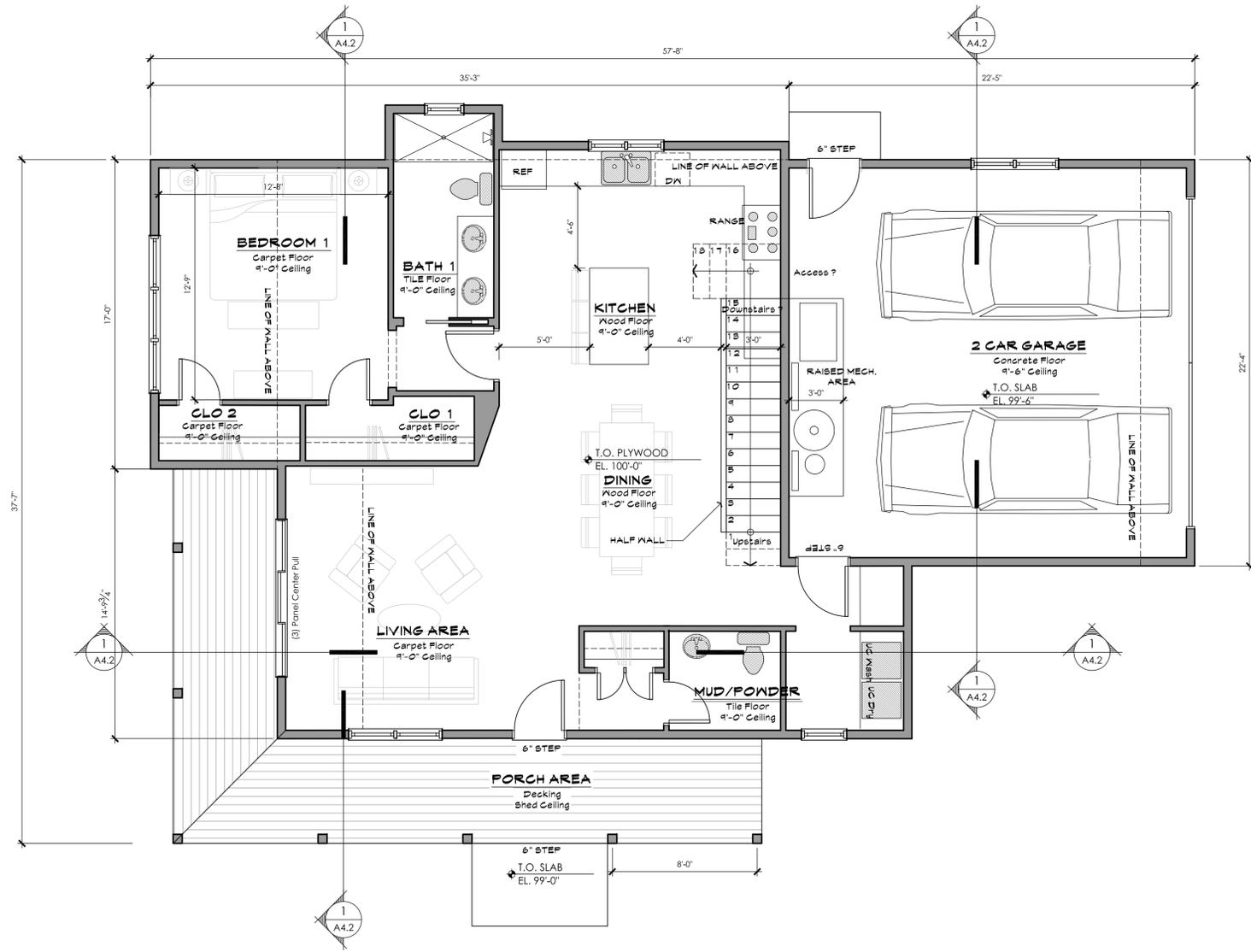
PRE-ENGINEERING SET: JUNE 2016

ISSUE:	DATE:
CLIENT REVIEW	2.15.2016
CLIENT REVIEW	3.4.2016
CLIENT REVIEW	3.28.2016

SCOTT S. TURNIPSEED AIA
 ARCHITECTURE
 & CONSTRUCTION INC.
 P.O. BOX 3388
 1143 CAPITOL STREET, SUITE 211
 EAGLE, COLORADO 81631
 970.228.2865 WWW.SSTPAI.COM

A2.1
 LOWER FLOOR PLAN

CREEKSIDE LOFTS
SINGLE FAMILY RESIDENCE
725 PRINCE ALLEY
EAGLE, COLORADO 81631



1 A2.2 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

SQUARE FOOTAGE CALC.:
1,110 S.F. FINISHED
509 S.F. UN-FIN GARAGE

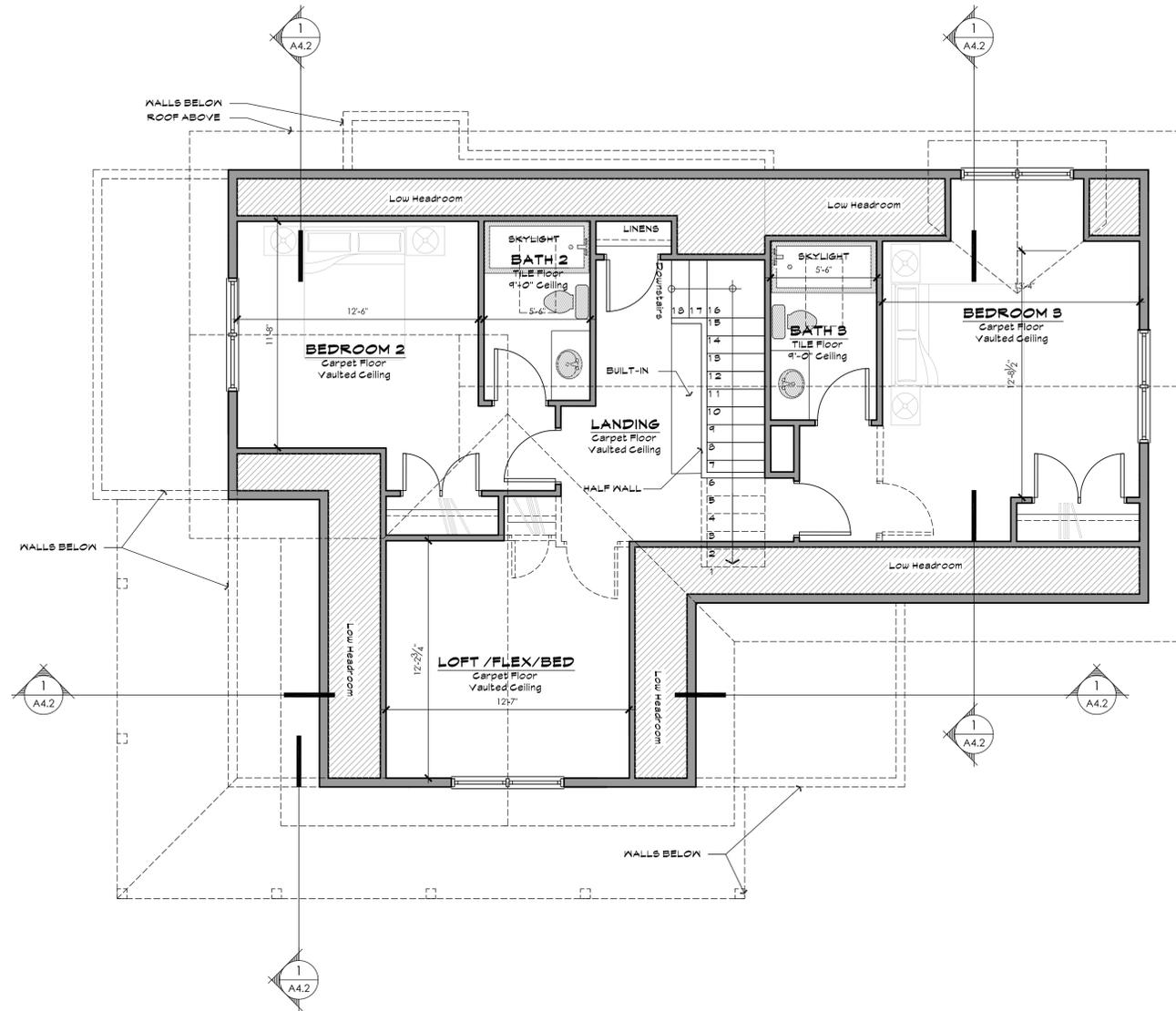
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A2.2
MAIN
FLOOR PLAN

CREEKSIDE LOFTS
SINGLE FAMILY RESIDENCE
725 PRINCE ALLEY
EAGLE, COLORADO 81631



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE CALC.:
886 S.F. FINISHED

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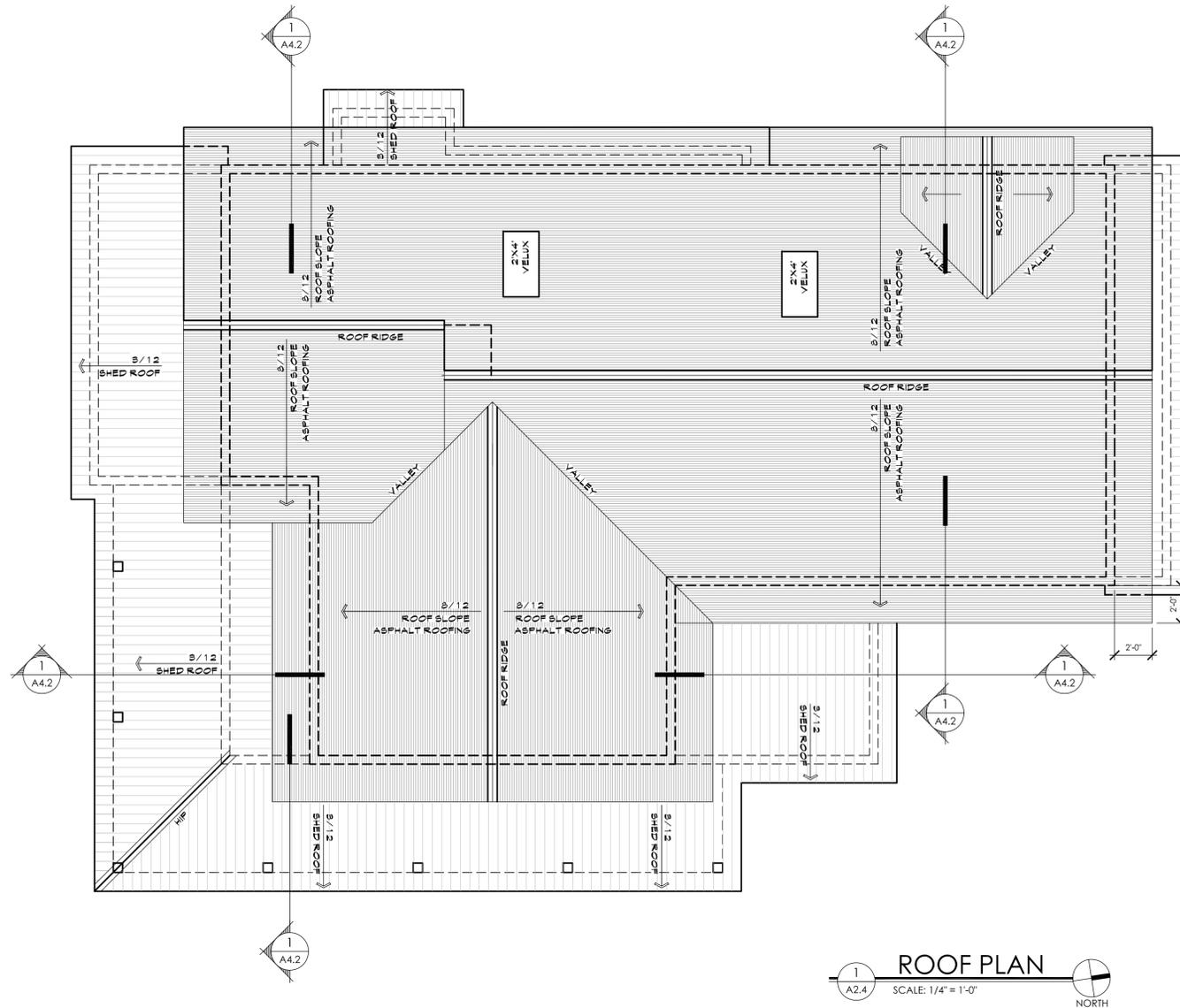
SCOTT S. TURNIPSEED AIA
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& CONSTRUCTION INC.
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CREEKSIDE LOFTS
SINGLE FAMILY RESIDENCE
725 PRINCE ALLEY
EAGLE, COLORADO 81631

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970.328.3900 WWW.SSTAK.COM





1
A3.1 FRONT/EAST ELEVATION
SCALE: 1/4" = 1'-0"



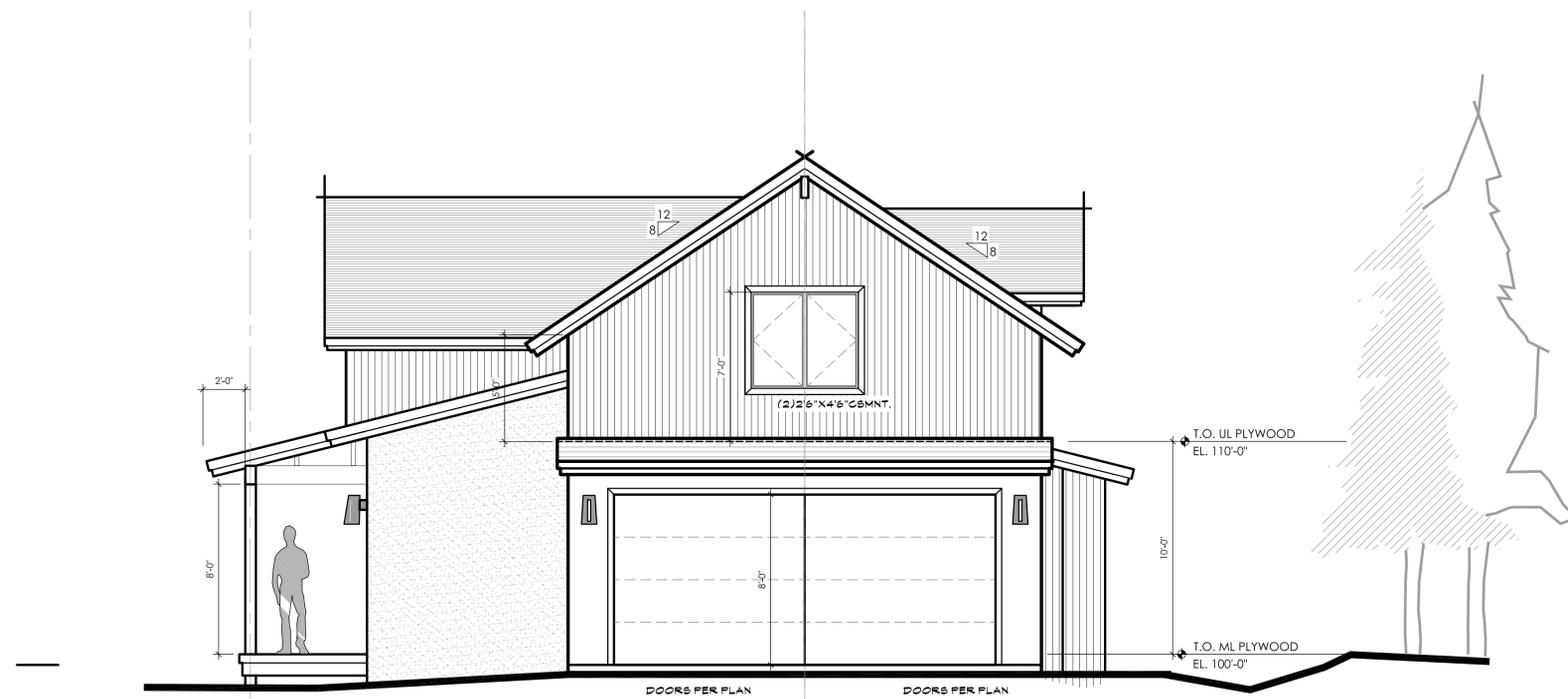
2
A3.1 SIDE/SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PRE-ENGINEERING SET: JUNE 2016

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1
A3.2 BACK/WEST ELEVATION
SCALE: 1/4" = 1'-0"



2
A3.2 SIDE/NORTH ELEVATION
SCALE: 1/4" = 1'-0"

TURNIPSEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

CREEKSIDE LOFTS
SINGLE FAMILY RESIDENCE
725 PRINCE ALLEY
EAGLE, COLORADO 81631

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A3.2
SINGLE FAMILY
ELEVATIONS

CREEKSIDE LOFTS
SINGLE FAMILY RESIDENCE
725 PRINCE ALLEY
EAGLE, COLORADO 81631

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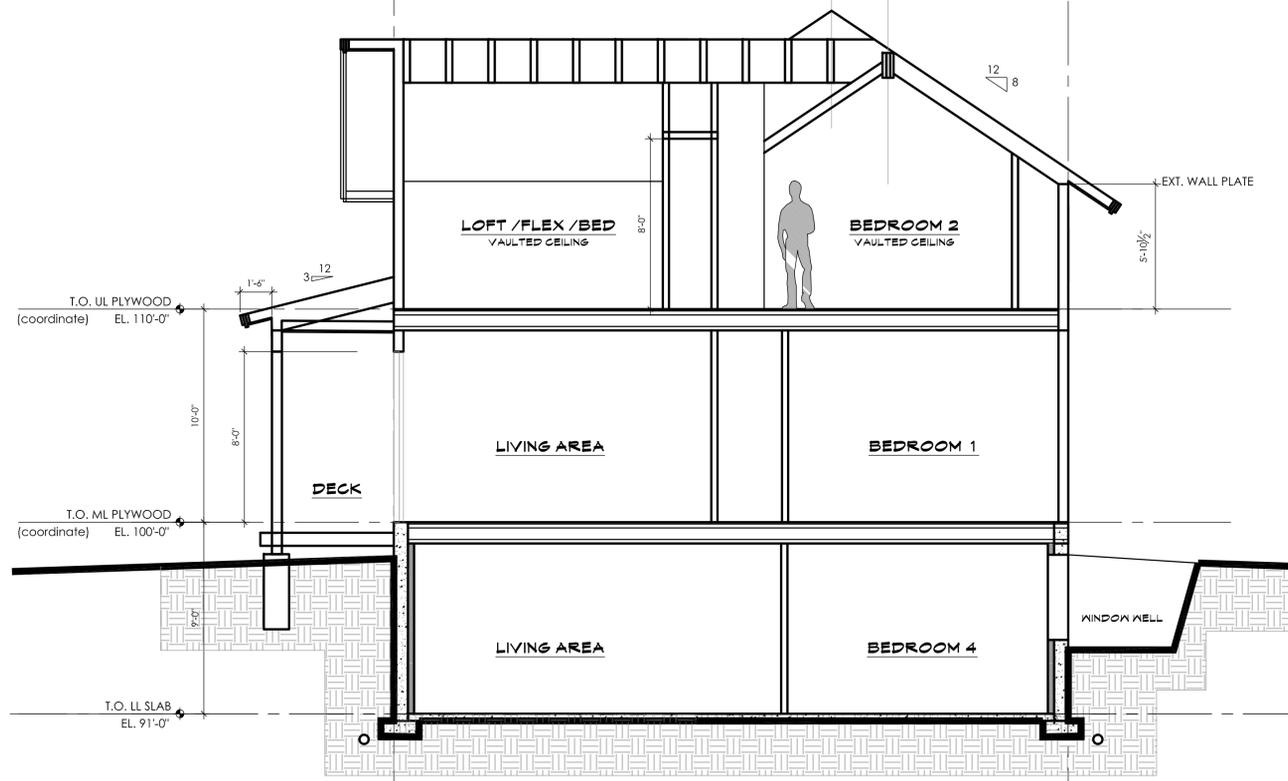
SCOTT S. TURNIPSEED AIA
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& CONSTRUCTION INC.
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A4.1
SINGLE FAMILY
SECTIONS

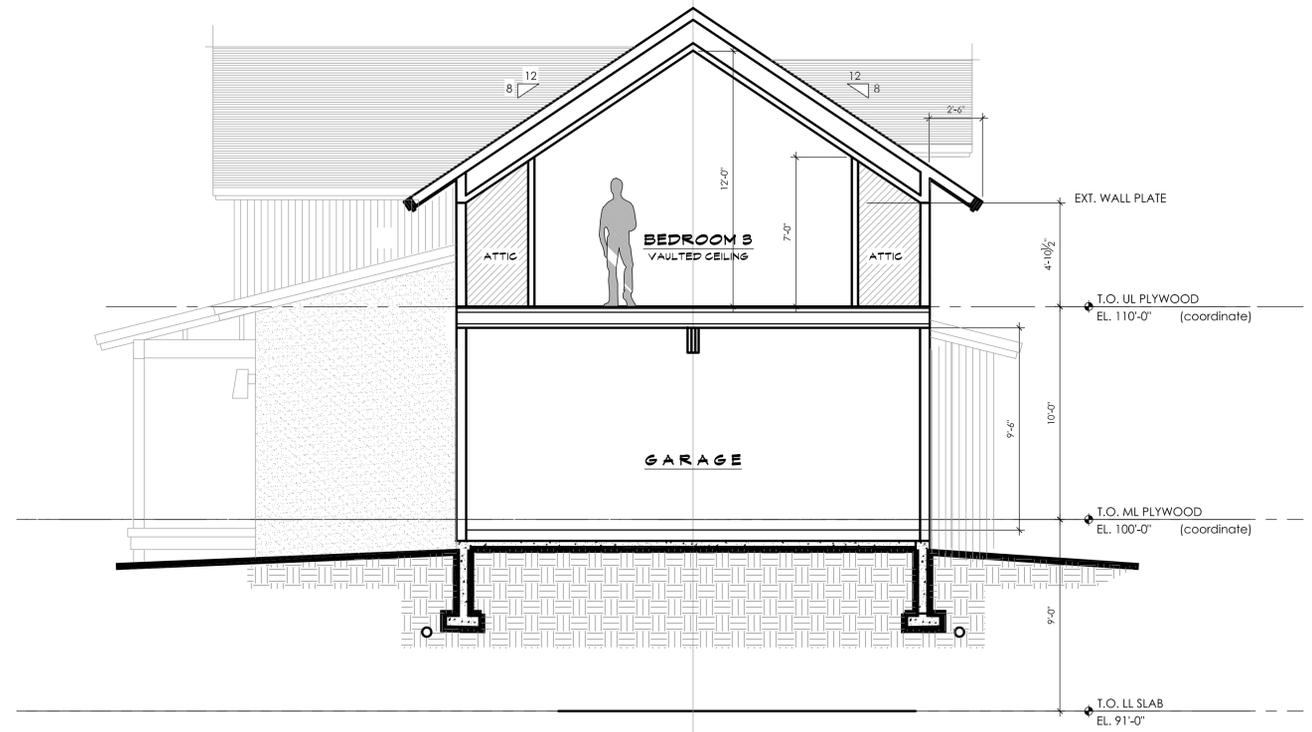
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A4.1 BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

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A4.2 BUILDING SECTION 2
SCALE: 1/4" = 1'-0"

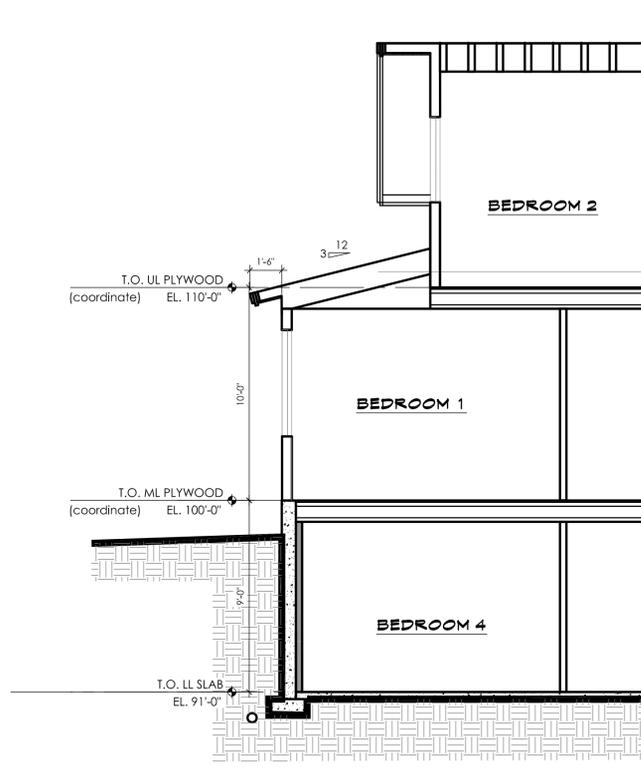
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SCALE: 1/4" = 1'-0"



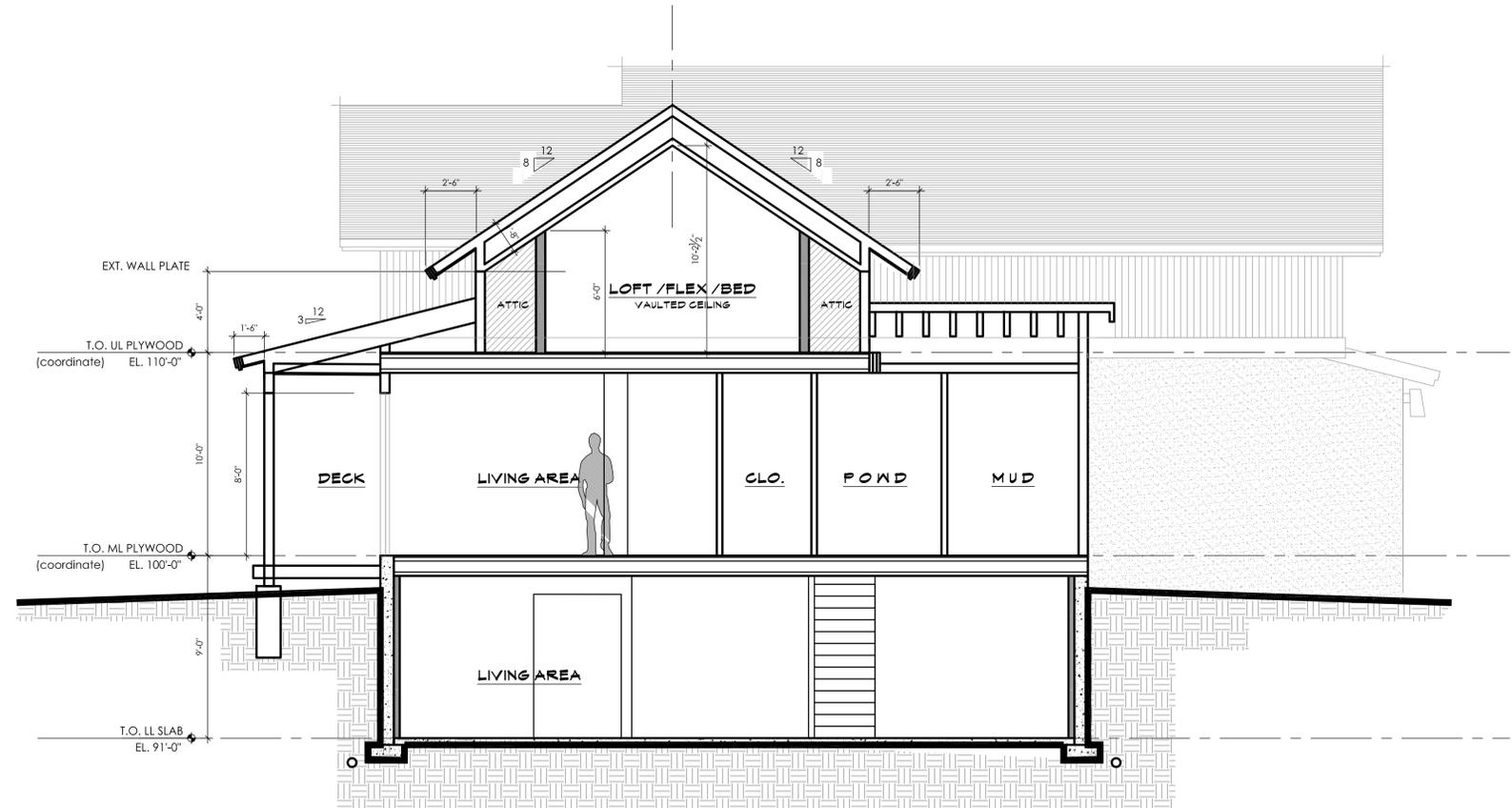
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A4.1 **BUILDING SECTION 1**
SCALE: 1/4" = 1'-0"



2
A4.1 **BUILDING SECTION 2**
SCALE: 1/4" = 1'-0"



4
A4.1 **BUILDING SECTION 4**
SCALE: 1/4" = 1'-0"



3
A4.1 **BUILDING SECTION 3**
SCALE: 1/4" = 1'-0"

TURNPISEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

CREEKSIDE LOFTS
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970.328.3900 WWW.SSTAK.COM

A4.1
SINGLE FAMILY
SECTIONS

CREEKSIDE EAGLE, COLORADO DEVELOPMENT PERMIT JULY 2016

PRELIMINARY PLAN
July 21, 2016
NOT FOR CONSTRUCTION

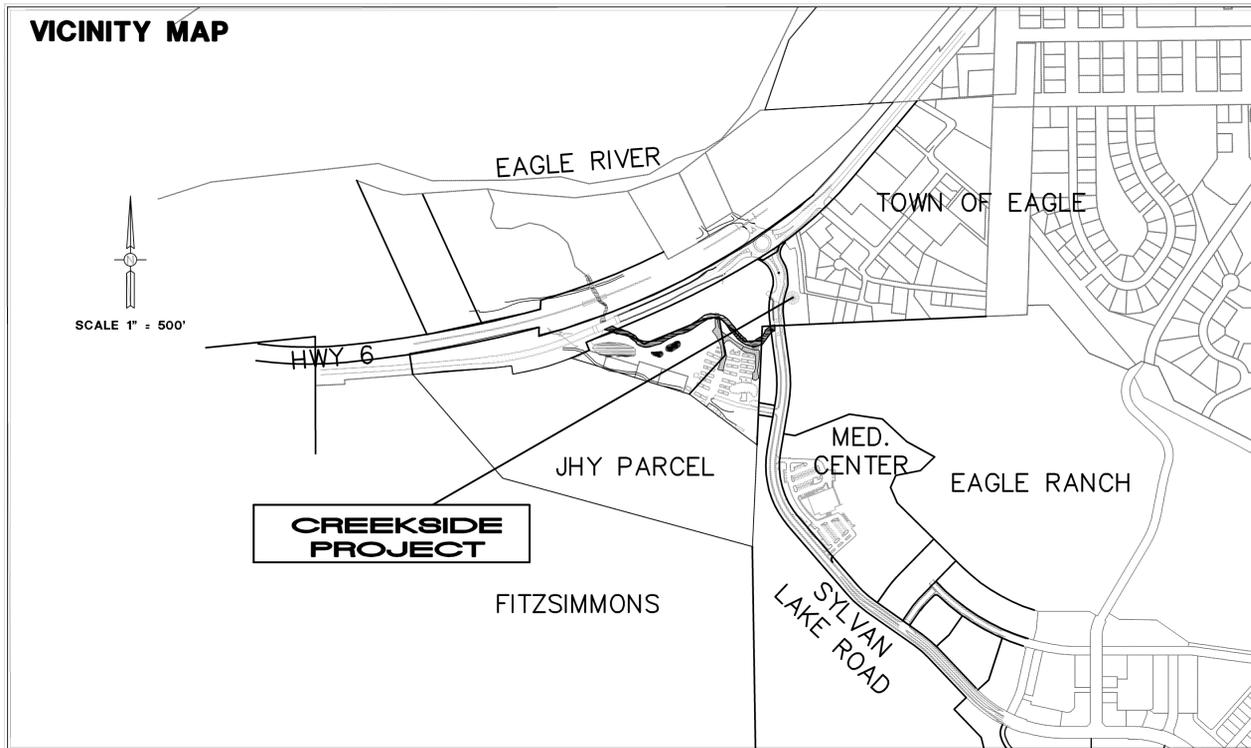
GENERAL NOTES

- The Contractor shall notify Alpine Engineering, Inc., Owner and Town of Eagle Engineering Dept. at least 48 hours prior to any construction. The Contractor shall coordinate all work with Alpine Engineering, Inc. and Owner.
- Alpine Engineering, Inc., assumes no responsibility for utility locations. It is the Contractor's responsibility to field verify the location of all utilities prior to commencement of any construction.
- The Contractor shall conform to all Town of Eagle rules, regulations and stipulations while accessing through or working in the Town.
- The Contractor shall take all appropriate precautions to significantly reduce any potential pollution caused by his activities, including vehicle fueling, storage of fertilizers or chemicals, etc. The Contractor shall have identified procedures for handling potential pollutants and have identified spill prevention and response procedures prior to any activities at the project site.
- The Contractor shall keep 2 sets of contract drawings marked up to fully indicate as-built conditions. The drawings shall be provided to the Owner and Alpine Engineering, Inc. upon completion of this work. Contractor is to provide at least three ties from physical monuments to all fittings, valves, hydrants, curb stops, air vac valves, pvs, manholes, and services. The Town regulations require a description of all materials and appurtenances to be included in the asbuilts.
- The Contractor shall maintain traffic at all times to the satisfaction of the Owner and the Town of Eagle. The Contractor shall minimize traffic disruptions and provide adequate safety precautions to ensure public safety.
- Safety is the responsibility of the Contractor. The Engineer is not responsible for safety in, on, or about the project site, nor for compliance by the appropriate party with any regulations relating hereto.
- It is the Contractor's responsibility to obtain (and conform to) all proper construction permits including a road cut permit for work within the public right of way.
- The Owner will designate staging areas.
- The Contractor shall minimize all off site tracking. All soil tracked off site shall be immediately cleaned up to the satisfaction of the Town of Eagle, CDOT and The Owner.
- If any groundwater is encountered the Contractor shall contact Owner, Alpine Engineering, Inc., and the Project Geotechnical Engineer immediately.
- The Contractor shall protect and preserve all trees, bushes, shrubs, and ground cover in a manner acceptable to the Owner.
- Observations of the work in progress and on-site visits are not to be construed as a guarantee or warranty by the Engineer of the Contractor's contractual responsibilities.
- All materials and workmanship shall be subject to inspection by the Town and/or their representatives, and Alpine Engineering, Inc. The Town reserves the right to accept or reject any such materials and workmanship that do not conform to the approved drawings and/or district standards or specifications.
- All construction shall conform to town standards and specifications and be subject to construction observation by their representatives. Copies of town standards must be obtained by the Contractor. Contractor shall have one (1) copy of the plans and one (1) copy of the appropriate specifications on the job site at all times.
- Street closures shall be kept to a minimum length of time. There shall be no material storage on Town Streets or property.
- It is the Contractor's responsibility to prepare and submit a Traffic Control Plan, as a requirement of the Town of Eagle's Road Cut Permit, and submit to the Town's Engineer prior to construction. The plan shall show existing and proposed traffic signs, existing and proposed crosswalk striping, construction limits, fencing and access, and vehicle tracking control measures.
- No soils report was available for this Project. Alpine Engineering, Inc. assumes no responsibilities for any risks associated with not adhering to any recommendations that typically may be contained in a soils report. If a soils report is prepared these plans will be revised to reflect any recommendations that are contained therein.
- Topographic information was provided by Archibque Land Consultants. (original march 16, 2012, job #2113, additional surveys 2/10/16 and 3/30/16)

UTILITY NOTES

- The Contractor is warned that conflicts with existing utility services may exist. Prior to beginning any construction, the Contractor shall contact all appropriate utility companies for line locations. The Contractor shall then locate all utilities (including depth). Any conflicts with the proposed construction shall be brought to the attention of the Engineer so that line or grade changes can be made to eliminate any conflicts with these existing utilities. All existing utilities shall be protected from damage by the Contractor. Damaged utilities shall be repaired by the Contractor at no expense to the Owner.
- All construction activities and excavating for utility trenches shall meet OSHA requirements.
- All Water System and Sanitary Sewer System construction shall conform to Town of Eagle standard specifications.
- All water mains and services shall have a minimum cover of 6 feet.
- Provide 10 feet minimum horizontal separation between water and sewer mains and services or encase per Colorado Department of Health requirements.
- The Contractor shall mark all service line ends as shown on the details.
- The Contractor shall provide thrust blocks and megagul restrains at all bends and tees. Angles of water line bends are shown only as a guideline; all bends have not been identified or dimensioned, and additional bends may be required during construction. Vertical bends are not shown but will be required to maintain minimum cover.
- Water service lines to be Type K Copper with size per plan, a curb stop shall be installed for each service at the property line or edge of easement or as shown on the plan.
- The Contractor shall verify existing pipe or manhole inverts at tie in points prior to construction.
- The Contractor shall lay 10 gauge insulated copper tracer wire along the water lines, (see detail sheet), and ductile iron water pipe shall be cast-welded charge size of CA-45. The Contractor shall test the pipe and the tracer wire to confirm conductivity prior to acceptance. The Contractor shall field install polyethylene wrap on all water lines (see detail sheet).
- The Contractor shall test all water mains in accordance with Town standard specifications, tests to include pressure test, chlorine test, bacteria test and leakage test.
- The Contractor shall attend a mandatory preconstruction meeting with the Town of Eagle Engineering Dept. and Alpine Engineering, Inc., prior to the start of construction.
- Sewer service lines to be 4" PVC unless otherwise indicated.
- All sewer lines shall have a minimum of 4.5 feet of cover.
- All sewer pipe dimensions noted are inside edge of manhole to inside edge of manhole.
- The Contractor shall test all sewer mains in accordance with Town standard specifications, tests to include low pressure air test, manhole vacuum test, and television test.
- The Contractor shall have water running in sewer lines during the t.v. recording process and cut sheet format shall conform to Town standard specifications.
- The Contractor is responsible for coordinating, conducting and scheduling for the testing of all utilities and obtaining approval and acceptance from all utilities.
- To maintain adequate skin friction on existing water mains during construction, the Contractor shall valve off stubs and deplete the pressure prior to excavation for extending water main stubs. The Contractor shall also go 10 feet minimum from the main cross tee before beginning the excavation trench. The excavation trench shall be a maximum of 1.5 : 1 slope.
- The Contractor may need to perform hydraulic testing and disinfection of existing waterlines as part of the testing and acceptance procedure for the proposed waterline.
- Compaction of all trenches and bedding must be attained as per specifications.
- PHONE/CATV: All phone and cable TV conduits, pedestals and appurtenances shall be installed in accordance with Century Link's design specifications and shall be reviewed and accepted by Century Tel.
- If Water Mains cross within 18" (vertical) of sewer services, or if water mains are beneath sewer services, the contractor shall use C900 pipe for the sewer services, and the water and pipe sticks shall be centered on each other.

VICINITY MAP



GRADING AND DRAINAGE NOTES

- All work performed for this project including storm drains and culverts shall be constructed in accordance with the Town of Eagle standards and the project Technical Specifications.
- All drain pipes shall be installed with the required bedding.
- Elevations shown are at pipe invert unless otherwise shown.
- All standard storm drain structures are subject to modification by the Engineer to meet field requirements.
- Where any part of the storm drain system is located in a fill section, provide fill material compacted to 95% AASHTO 199 density from the original undisturbed ground up to structure bottom slabs and pipe bedding.
- Inlet boxes to be oversized to accommodate pipe size where necessary. Provide traffic load rated inlet box and top slab to accommodate grate and frame for oversized boxes.
- All Reinforced Concrete Pipe Joints (RCP) shall utilize Type R-4 Rubber Gasket Joints which shall be in accordance with AASHTO M198 and ASTM C443 (standard specifications for joints for circular concrete pipe using rubber gaskets).
- Pipe lengths indicated are slope lengths measured along the centerline of pipe from inside face of box to inside face of box.
- Curb and Gutters shall be installed in such a manner as to insure positive drainage in all areas, as shown.
- Direct downspout drainage away from building foundation or to storm per Geotechnical Engineer.
- Ditch revegetation and ditch protective linings will require field adjustment during construction to account for varying soil conditions. Revegetation and linings will be evaluated after ditches are constructed.
- Grading adjacent to buildings shall be at a slope away from the building of 6" in 10' per the geotechnical report.
- The Contractor shall maintain existing drainage channels, culverts, and appurtenances during construction as necessary to protect roads and property.
- The Contractor shall remove all topsoil and man placed fill prior to commencement of construction.
- The ground surface surrounding the exterior of buildings shall be graded to slope away from the foundations in all directions.
- Proof roll all hardscape areas prior to installing basecourse and pavement, per Geotechnical Report.

SHEET INDEX

COVER SHEET	C.1
GRADING PLAN	C.2.1-C.2.2
UTILITY PLAN	C.3.1
DETAILS	C.4.1-C.4.3

PROJECT CONTACTS

DEVELOPER	ERIC EVES	(970) 331-8617
CONTRACTOR, DW DANTAS CONSTRUCTION	DAVE DANTAS	(970) 376-6111
TOWN OF EAGLE, ENGINEERING	KEVIN SHARKEY	(970) 328-8678
TOWN OF EAGLE, PUBLIC WORKS	DUSTY WALLS	(970) 328-8678
BLACK HILLS GAS	TODD ELLSWORTH	(970) 309-2722
HOLY CROSS ENERGY (ELECTRIC)	KEITH HERNANDEZ	(970) 947-5439
CENTURY LINK (PHONE/CATV)	JASON SHARPE	(970) 328-8288
CIVIL ENGINEER, ALPINE ENGINEERING INC.	GARY BROOKS	(970) 926-3373
LAND SURVEYOR, ARCHIBQUE LAND CONSULTING	TED ARCHIBQUE	(970) 328-6020

HOLY CROSS ENERGY CONSTRUCTION SPECIFICATIONS

I. TRENCH AND CONDUIT

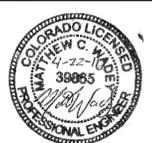
- The developer or contractor will contact Holy Cross Energy before conduit and vault installation begins to schedule a pre-construction meeting with the project inspector.
- Changes in power facility construction from that shown on the project plans will not be made without advance approval from the Holy Cross Energy inspector.
- Holy Cross Energy material shall not be moved from the project to which it was assigned without the advance approval of the inspector and the completion of necessary paperwork. Holy Cross Energy material shall not be installed for any use other than construction of power facilities.
- All roads will be built to subgrade and all drainages will be constructed to grade before any vaults or conduits are installed.
- All trench will be excavated deep enough to ensure that the top of installed power facilities will be 48" below final grade. Special care must be taken to insure that the top of conduits will be 48" below the bottom of drainage ditches and all other low areas.
- Trench will be as straight as possible between vaults and shall have a smooth bottom free from low and high spots. Six inches of road base will be placed the entire length of the trench and well compacted prior to conduit installation. When placed in the trench, the conduit shall be in continuous contact with the compacted road base with no hold down weight added. Twelve inches of road base, as measured from the top of the conduit, will be placed on the conduit and well compacted prior to returning any native backfill to the trench. Large rocks shall not be placed directly on the road base layer. Care must be taken to avoid conduit damage during backfill and compaction; conduits found to be unusable at the time of power cable installation will be repaired by the developer or contractor before power can be made available.
- Power facilities to be placed parallel to deeper utilities will have a horizontal separation from the deeper utility greater than the depth of such utility below final grade less four feet (see attached drawing). When crossing a deeper utility is unavoidable, the crossing will be made as close to perpendicular as possible.
- Power line conduits will be installed with a minimum separation of 12" from all other new or existing underground utility lines. Wherever possible, this separation will be horizontal. The power line separation from plastic gas lines will be greater than this minimum wherever practicable. Power line conduits will be located deeper in the trench than the facilities of all other utilities unless the inspector grants a waiver prior to the start of construction.
- Backfill and compaction above the road base layer will be as required by the governmental entity or other party having jurisdiction.
- Conduit bell ends will not be allowed in the vaults. Holy Cross Energy will supply factory couplers, 90°, 45°, and 22 1/2° elbows as needed for job. Non-factory bends and heated bends will not be allowed. No more than two 90° elbows will be allowed in a conduit run of 500 feet. The conduit shall run straight between factory bends. Allowed bends must be further than 5' from a vault. Factory elbows supplied must be used intact; they cannot be cut to make a lesser bend. Bells will not be cut off conduit sticks to use as couplers. Holy Cross Energy elbows and pipe will be used only for the power facility installation.
- The conduit will not be backfilled without the Holy Cross Energy inspector seeing all joints unless the inspector gives prior permission. All joints shall be completely sealed to the line marked on the male end of the conduit after sufficient glue is applied to both conduits being joined, even in areas where the trench cannot be excavated completely straight. Glue in the joint shall be allowed to completely dry prior to any stress being applied to the conduit on either side of the joint. Trench backfilled without the inspector viewing each joint or giving prior permission to cover the conduit will be re-excavated to expose the conduit, or the contractor will put a camera through each conduit in the span which was prematurely backfilled to verify the joint seating and conduit condition. The camera verification will be witnessed by the Holy Cross Energy inspector.
- Individual conduits shall enter each vault at a consistent location. There is to be no crossing of conduits in the trench.
- Both ends of a conduit run shall be securely plugged at the time of installation with Holy Cross Energy supplied material. Conduit ending outside a vault shall be marked with a 4" x 4" post or other approved method.
- Red trench marking tape will be supplied by Holy Cross Energy and shall be installed 18" to 24" above the conduit during backfill.
- At completion of the job, the inspector will do a final inspection. If the job does not meet with Holy Cross Energy's specifications or the approval of inspector, service will not be provided until specifications are met.

II. VAULTS

- Vaults shall be installed as follows:
 - Splice vaults shall be installed with the manhole lid grade being slightly above final grade of the surrounding area, except when the vault is in a roadway, the manhole lid grade shall match the grade of the finished roadway surface.
 - Splice vaults located in roads or other sloped areas will be installed so that the concrete base and lid are at the sloping area. Vaults placed in roads will not be located in areas normally traversed by vehicle wheels. The inspector must approve all vaults installed at a slope.
 - Transformer vaults and switchgear vaults will be installed with the bottom of the lid at final grade. The lid will be level.
 - Where transformer and switchgear vaults are set into hillsides or sloped cuts, the downhill side of the vault will be graded according to C above. The slope behind the vault will be laid back sufficiently to prohibit soil or rocks from sloughing onto the vault. If the slope cannot be laid back far enough, a retaining wall shall be constructed behind the vault at the direction of the inspector.
 - All vault pads will be placed on the vaults at the time of vault installation to protect the public and wildlife, unless otherwise instructed by the inspector. The holes through transformer and switchgear pads will be covered at the time of vault installation with concrete pieces supplied by Holy Cross Energy, unless otherwise instructed by the inspector.
 - Large vault pieces shall be jointed with a tar type sealant provided by Holy Cross Energy, with the exception of the vault lid, at the direction of the inspector.
- Holes knocked in vaults for conduit installation shall be as small as possible and shall be grouted closed on the outside of the vault prior to backfill.
- Conduit shall enter vaults perpendicular to the vault wall, at least 2" from any adjacent walls and at least 2" above the vault base. There shall be a minimum separation of 1" between conduits. See vault drawings.
- Conduit will extend 4" into the vault (measured from the inside wall of the vault) after backfilling is complete.
- Ground rods in vaults for underground cable installation shall be laid in the trench with the conduits. The end of the rod shall extend approximately 6" into the vault through the conduit knockout. The rod will have a 45° bend located approximately 3" from the vault end, with the bend going away from the conduits. The bent end of the rod must be far enough from the vault wall to allow crimping the grounding conductor onto the rod. The rod must be at least 2" from the conduit at its entrance into the vault. See vault drawings.
- After the vault has been set, pipes extended in and grouted and the ground rod is in place, vaults shall be swept out removing all dirt or rocks. Cleanup shall be completed to the satisfaction of the inspector prior to cable installation being scheduled.
- Pedestals for other utilities shall not be located closer than 10' to a vault on sides where transformers or switchgear will have access doors. Pedestals shall not be located closer than 5' to a vault on sides where the pad-mounted equipment will not have access doors.

CREEKSIDE
 EAGLE, COLORADO
 COVER

ALPINE
ENGINEERING INC.
 EDWARDS BUSINESS CENTER, 61632
 EDWARDS, COLORADO 81632
 P.O. BOX 97
 • 970 226-3373 • FAX 970-226-3390



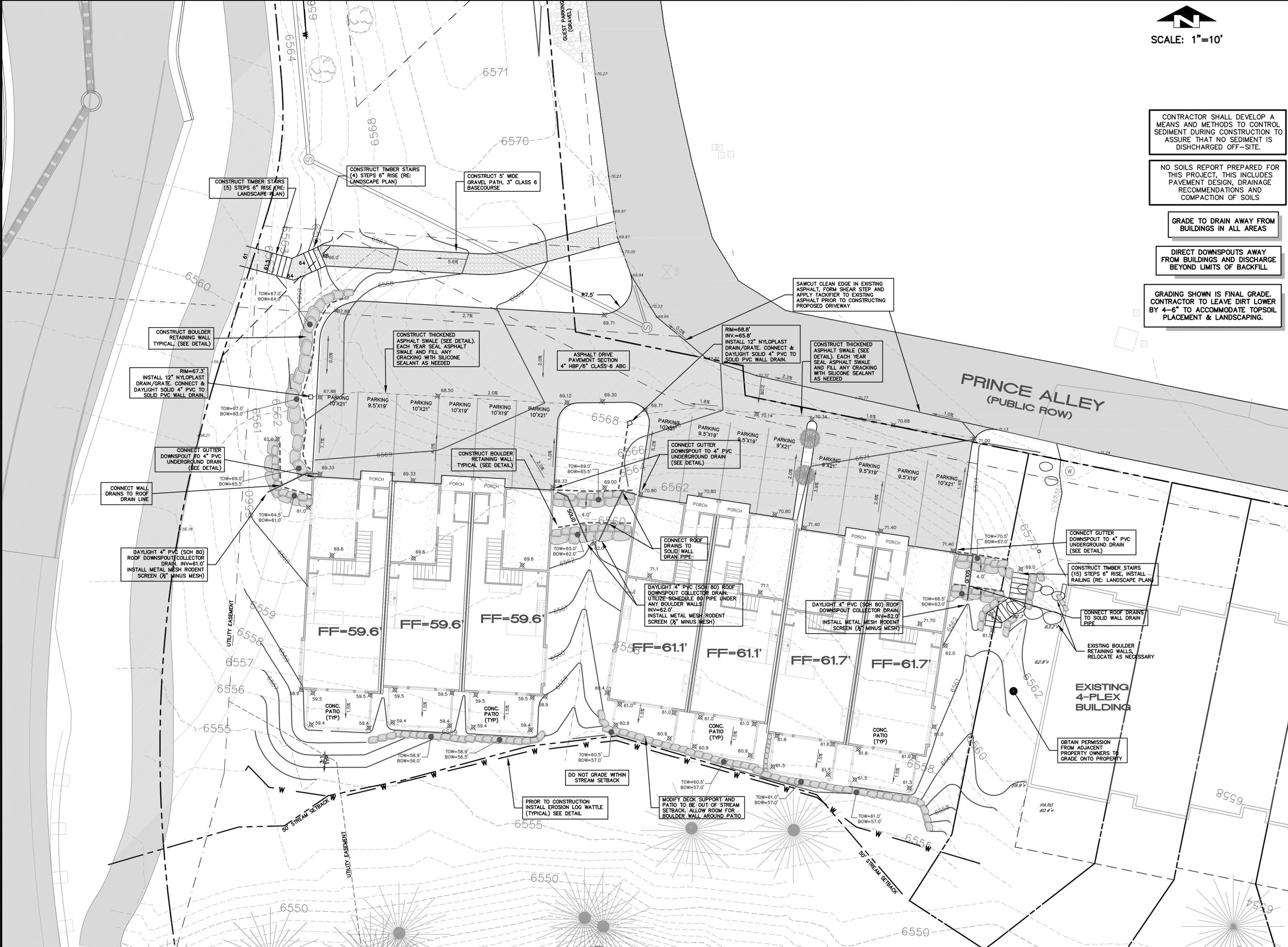
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			MCW	MCW
	6/28/2016	DEVELOPMENT PERMIT		
	7/20/2016	DEVELOPMENT PERMIT		

DESIGNED	GB, MW	
DRAWN	GB, MW	
CHECKED	MW, GB	
JOB NO.	44072	
DATE	3-1-2016	

**SHEET
C.1.1**

- CONTRACTOR SHALL DEVELOP A MEANS AND METHODS TO CONTROL SEDIMENT DURING CONSTRUCTION TO ASSURE THAT NO SEDIMENT IS DISCHARGED OFF-SITE.
- NO SOILS REPORT PREPARED FOR THIS PROJECT. THIS INCLUDES PAVEMENT DESIGN, DRAINAGE RECOMMENDATIONS AND COMPACTION OF SOILS
- GRADE TO DRAIN AWAY FROM BUILDINGS IN ALL AREAS
- DIRECT DOWNSPOUTS AWAY FROM BUILDINGS AND DISCHARGE BEYOND LIMITS OF BACKFILL
- GRADING SHOWN IS FINAL GRADE. CONTRACTOR TO LEAVE DIRT LOWER BY 4-6" TO ACCOMMODATE TOPSOIL PLACEMENT & LANDSCAPING.

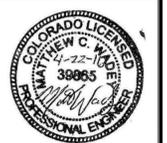
CREEKSIDE
EAGLE, COLORADO
GRADING PLAN



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	7/20/2016	DEVELOPMENT PERMIT	MCW

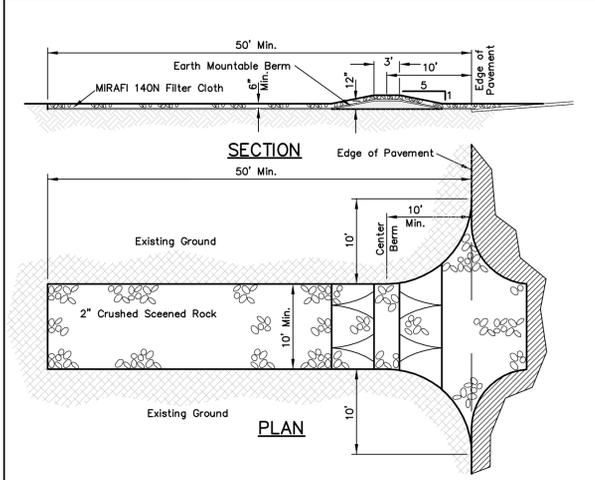
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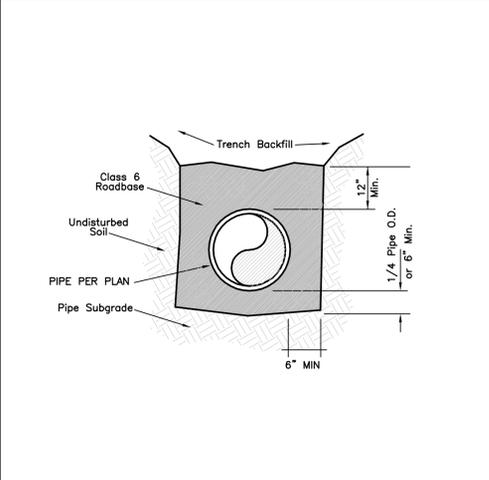
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	7/20/2016	DEVELOPMENT PERMIT	MCW

DESIGNED	MCW
DRAWN	MCW
CHECKED	GLB
JOB NO.	44072
DATE	3-4-2016

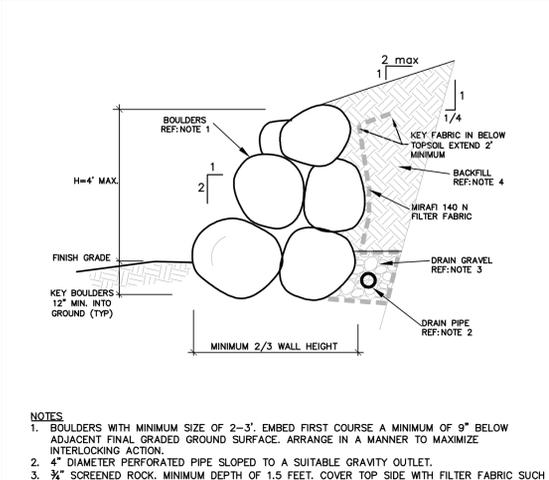


- CONSTRUCTION NOTES**
- STONE SIZE - USE 2" CRUSHED SCREENED ROCK.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY. SEE SHALL REMAIN IN PLACE UNTIL PAVING OF ENTRANCE COMMENCES.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

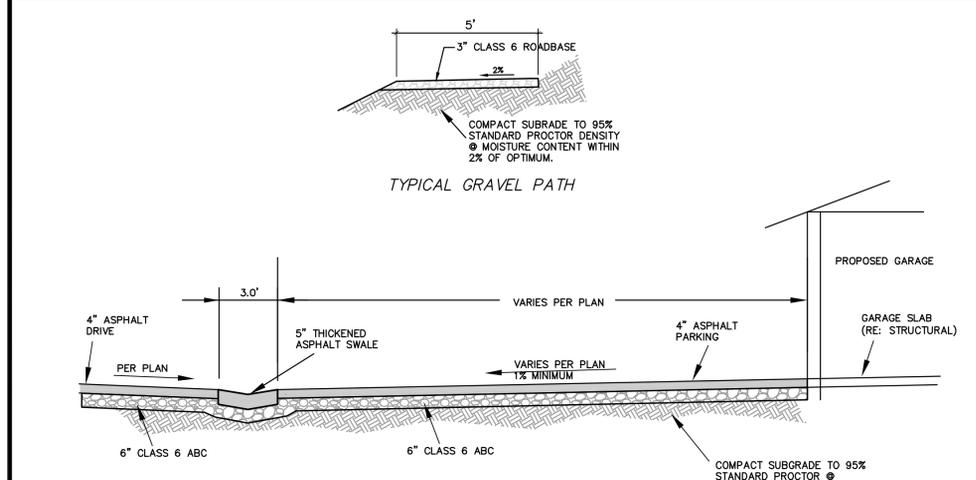
D STABILIZED CONSTRUCTION ENTRANCE



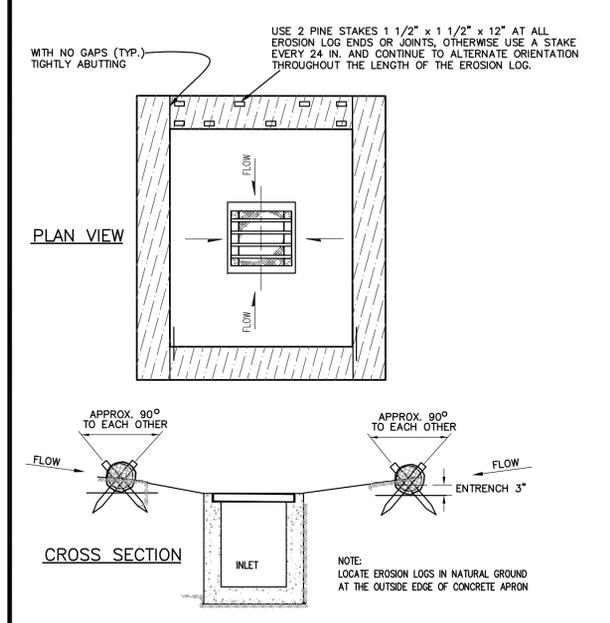
C CULVERT / DRAIN BEDDING



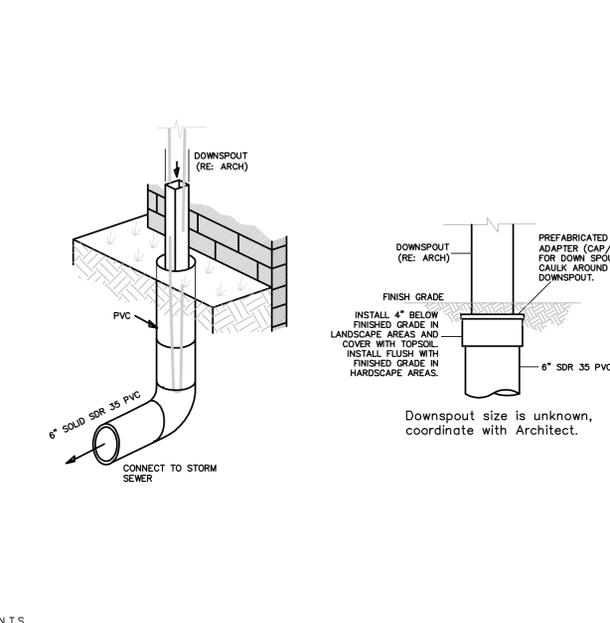
B BOULDER RETAINING WALL



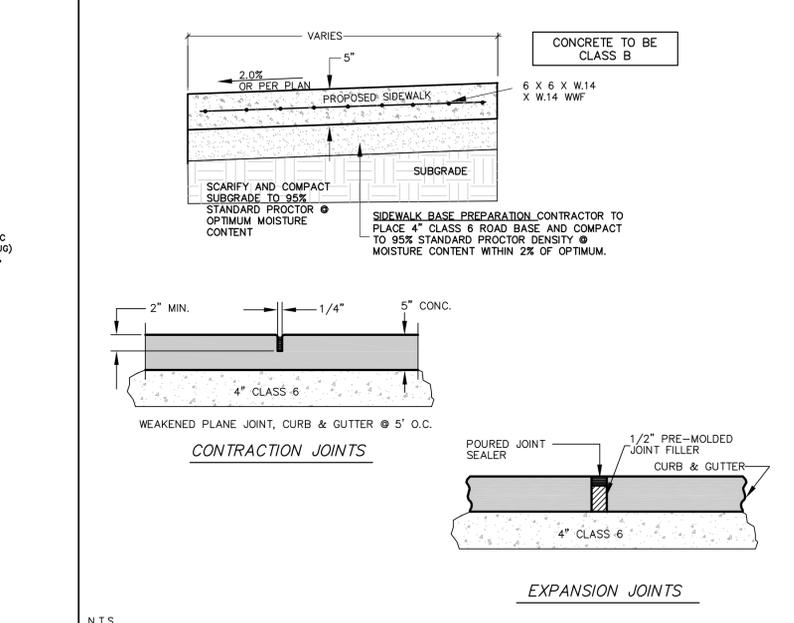
A TYPICAL MULTIFAMILY DRIVE SECTION



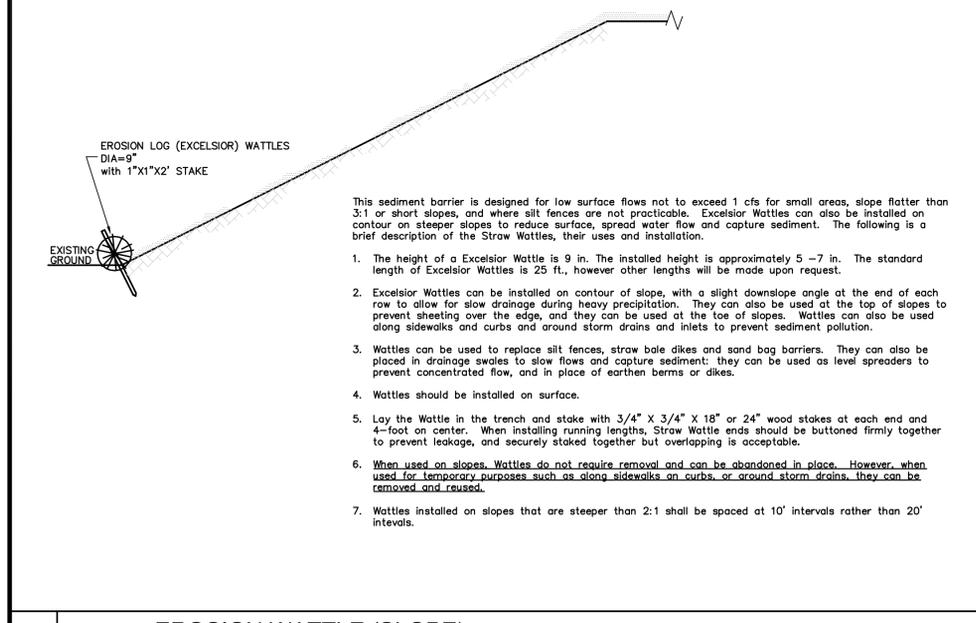
E EROSION LOG INLET PROTECTION



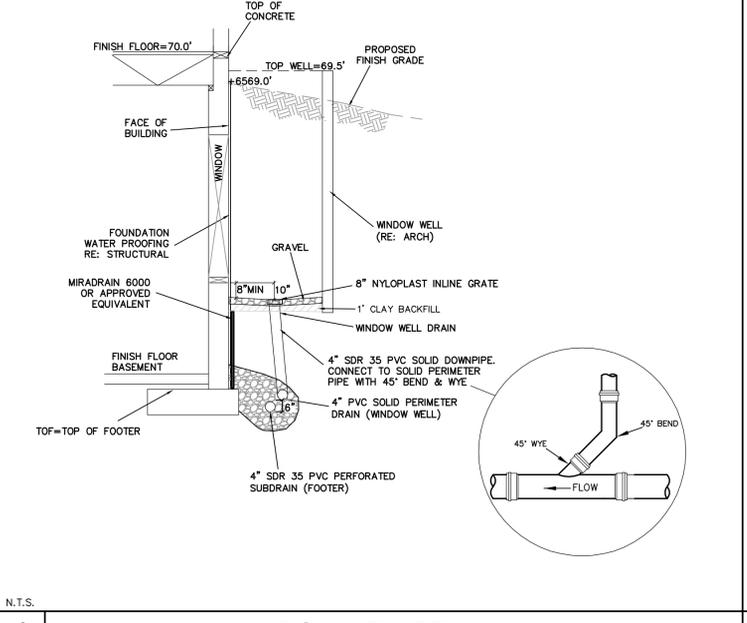
F DOWNSPOUT CONNECTION



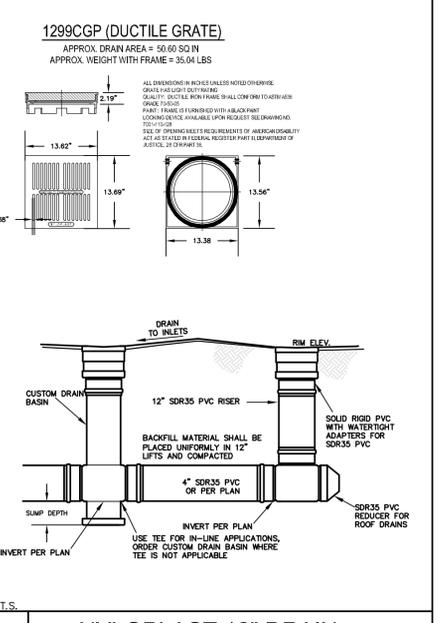
G CONCRETE PATIOS/SIDEWALK



H EROSION WATTLE (SLOPE)

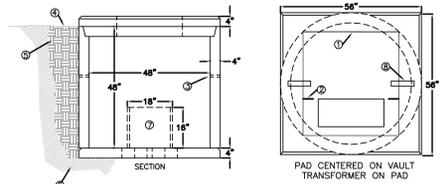
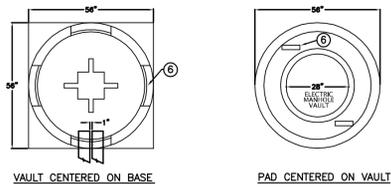


I WINDOW WELL DRAIN



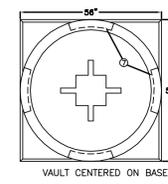
J NYLOPLAST 12" DRAIN

PRELIMINARY PLAN
 July 20, 2016
NOT FOR CONSTRUCTION



- NOTES
- 28" MANHOLE
 - 3/4" HOLE (TOTAL OF FOUR)
 - GROUND LEVEL
 - BACKFILL TO BE WELL COMPACTED
 - SOIL UNDER BASE TO BE UNDISTURBED OR WELL COMPACTED
 - FOUR KNOCKOUTS (16"x18")
 - GROUT HOLE IF CONCRETE BOTTOM IS BROKEN OUT FOR CONSUMERS INSTALLING SECONDARIES, CABLE TAILS SHALL BE 60" LONG MEASURED FROM TOP OF PAD

SPLICE VAULT (Round)	
1 - 48" Dia. Small Base	1 - 1,000 lbs.
1 - 48" Dia. Small Base or 40" Dia. Small Base	1 - 1,000 lbs.
1 - 48" Dia. Pad, 18"x18" or 40" Dia. Pad, 18"x18"	1 - 1,000 lbs.

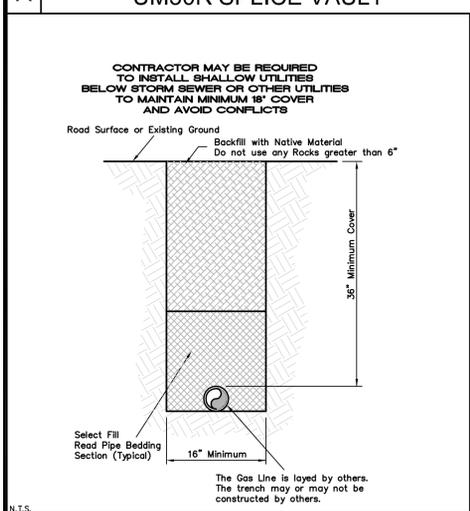


- NOTES
- TYPICAL TRANSFORMER OUTLINE
 - BACK EDGE OF TRANSFORMER OPENING
 - 3/4" HOLE (TOTAL OF FOUR)
 - GROUND LEVEL
 - BACKFILL TO BE WELL COMPACTED
 - SOIL UNDER BASE TO BE UNDISTURBED OR WELL COMPACTED
 - FOUR KNOCKOUTS (16"x18")
 - GROUT HOLE IF CONCRETE BOTTOM IS BROKEN OUT FOR CONSUMERS INSTALLING SECONDARIES, CABLE TAILS SHALL BE 60" LONG MEASURED FROM TOP OF PAD

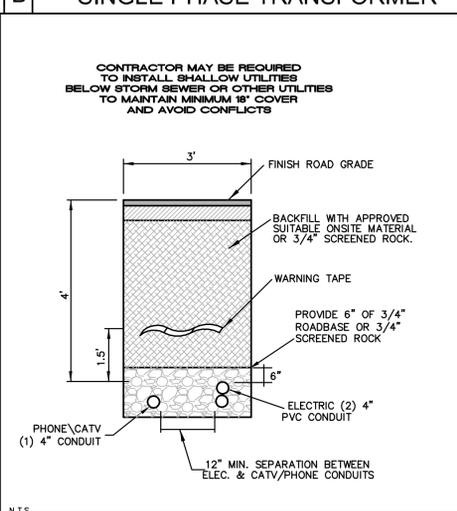
SINGLE PHASE TRANSFORMER VAULT (Round)	
1 - 48" Dia. Small Base	1 - 1,000 lbs.
1 - 48" Dia. Small Base or 40" Dia. Small Base	1 - 1,000 lbs.
1 - 48" Dia. Pad, 18"x18" or 40" Dia. Pad, 18"x18"	1 - 1,000 lbs.

UM30R SPLICE VAULT

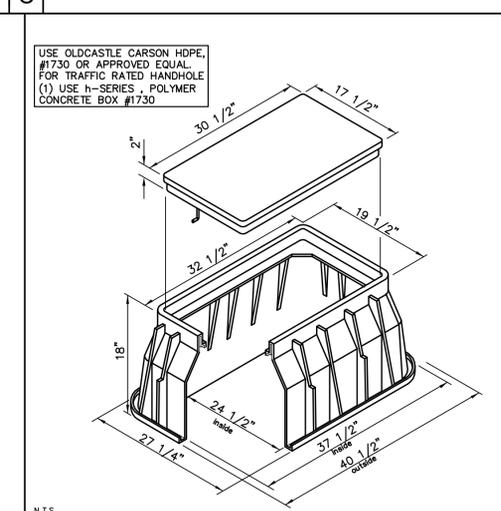
SINGLE PHASE TRANSFORMER VAULT



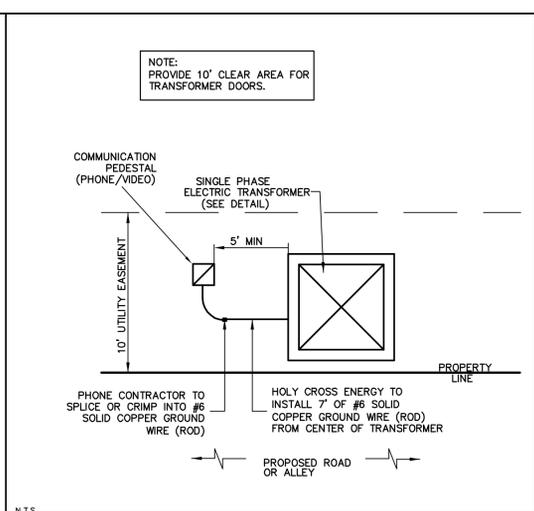
GAS TRENCH



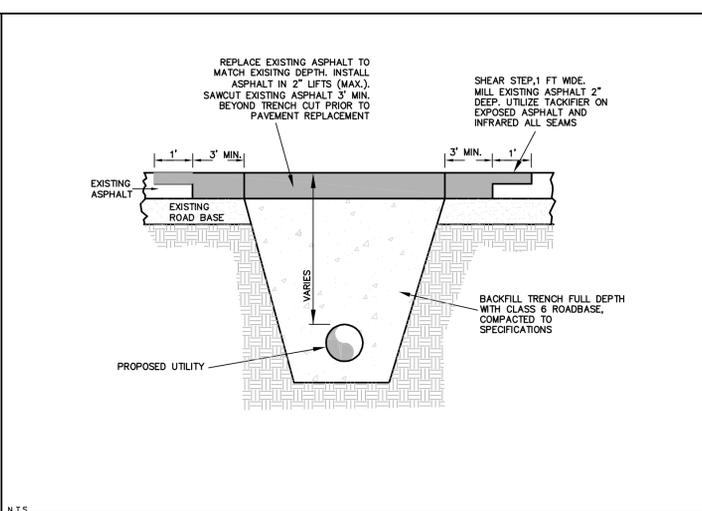
ELEC./PHONE/JOINT TRENCH



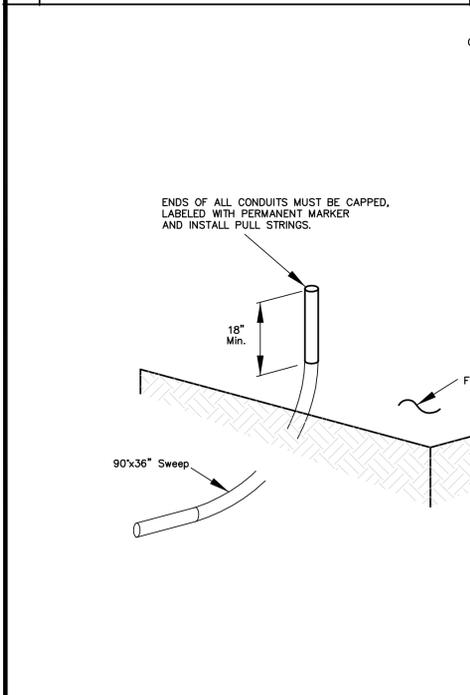
HANDHOLE



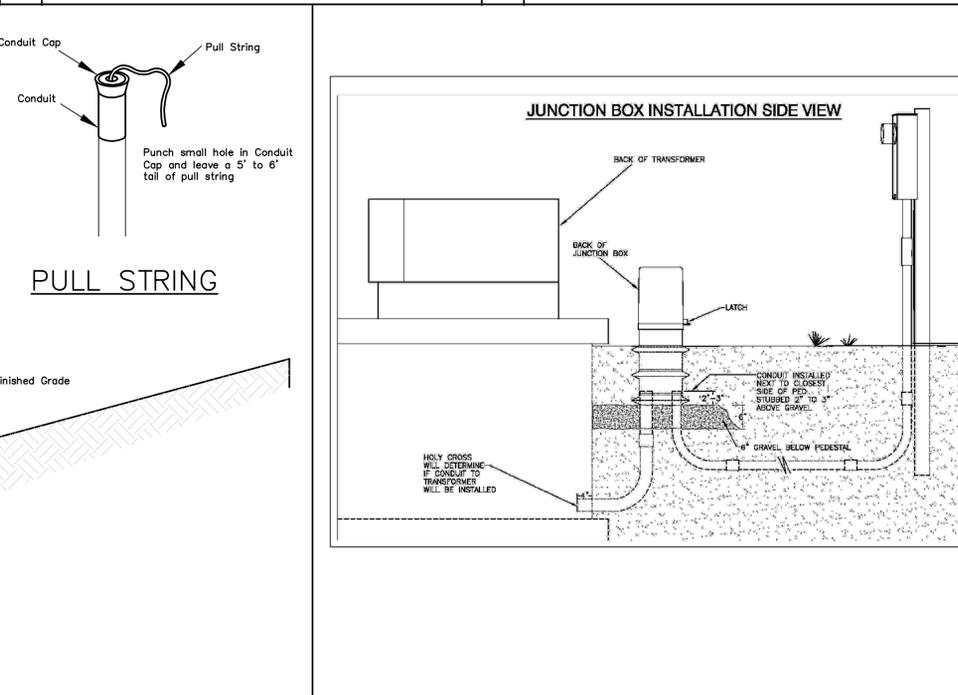
TRANSFORMER / PEDESTAL LAYOUT



ROADCUT DETAIL



CONDUIT SWEEP / STUB



ELECTRIC- SECONDARY PEDESTAL

PRELIMINARY PLAN
July 20, 2016
NOT FOR CONSTRUCTION



NO.	DATE	REVISIONS
	6/28/2016	DEVELOPMENT PERMIT
	7/20/2016	DEVELOPMENT PERMIT

DESIGNED	BY
MCW	MCW
DRAWN	MCW
CHECKED	GLB
JOB NO.	44072
DATE	3-4-2016

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